

# THE WINERY AT KENWOOD RANCH

1180 CAMPAGNA LANE, KENWOOD, CA 95409

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ARCHITECTS  
1180 CAMPAGNA LANE  
KENWOOD, CALIFORNIA 95409

THE KENWOOD RANCH  
WINERY  
1180 CAMPAGNA LANE  
KENWOOD, CALIFORNIA 95409



File Date	02/20/23
Drawn By	CS
Checked By	CS
Date	02/21/23
Project No.	2022-001
Client	THE WINERY AT KENWOOD RANCH
Scale	AS SHOWN
Sheet No.	1 OF 1

COVER SHEET

A0.00

## LOCATION MAP



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  - U048 LANDSCAPE IDENTIFYING LAYOUT
  - U049 LANDSCAPE IDENTIFYING LAYOUT
  - U050 LANDSCAPE IDENTIFYING LAYOUT

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## PROJECT INFO

**PROJECT ADDRESS**  
1180 CAMPAGNA LANE  
KENWOOD, CA 95409

**ASSESSORS PARCEL NUMBER**  
09-26-013-101-12

**LOT AREA**  
1023 SQUARE FEET

**ZONING**  
CA - 09-26-013-101-12  
09-26-013-101-12

**CONSTRUCTION TYPE**  
AUTO RISE SPRINKLER

**AREA SCHEDULE**

**PROPOSED DESCRIPTION**  
CONSTRUCTION OF NEW BUILDINGS FOR WINERY

**PREVIOUS DEVELOPMENTS**  
USE PERMIT BOARD OF SUPERVISORS RESOLUTION #04-007

**PROPOSED AREA**  
MAX. ALLOWABLE AREA

**AREA SCHEDULE**

**AREA SCHEDULE**

**AREA SCHEDULE**

**AREA SCHEDULE**

**AREA SCHEDULE**

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**AREA SCHEDULE**













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**THE KENWOOD RANCH  
WINERY**  
1180 CHAMPAGNE LANE  
KENWOOD, CALIFORNIA 95029



File Date	8/20/23
Drawn By	CW
Checked By	CB
Project No.	2023-001
Date	8/20/23
Issue	01 - Initial Design

WINERY  
RENDERING  
SOUTH MEADOW  
VIEW

**A0.20**



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**THE KENWOOD RANCH**  
 WINERY

1180 CAMPANA LANE  
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File Date	8/26/22
Drawn By	CB
Checked By	CB
Project No.	220141
Date	8/26/22
Issue	01 - ON PERMIT
Scale	AS SHOWN

**WINERY**  
 RENDERING  
 WEST ARRIVAL  
 VIEW

**A0.21**

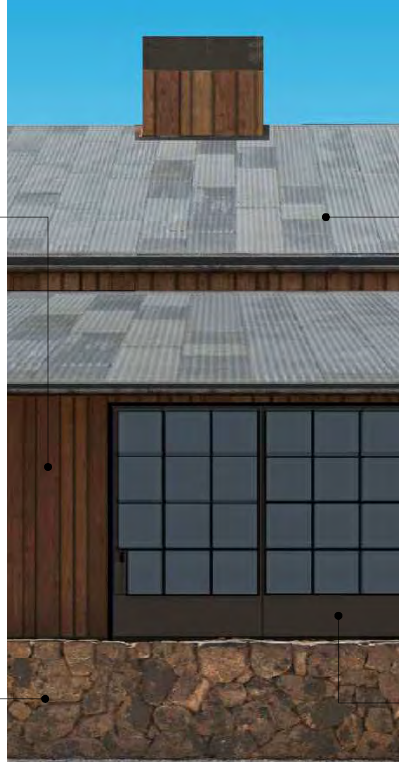




OPTION A - RECLAIMED  
OPTION B - NEW DISTRESSED  
STAINED VERTICAL WOOD BOARDS



DRY STACK LOCAL STONE WALLS



MARKETPLACE & FERMENTATION  
ELEVATION

NOTES:

1. COLORS USED FOR EXTERIOR BUILDING SURFACES SHALL MATCH THE HUE, LIGHTNESS, AND SATURATION OF COLORS OF THE IMMEDIATELY SURROUNDING TREES. SUBJECT TO REVIEW AND APPROVAL BY THE DESIGN REVIEW COMMITTEE. SEVERAL COLORS MATCHING THOSE OF THE SURROUNDING TREES SHALL BE USED TO MINIMIZE UNIFORMITY.
2. ROOF MATERIALS SHALL BE NON-GLOSSY, DARK IN COLOR, AND SYMPATHETIC WITH COLORS IN THE SURROUNDING LANDSCAPE.
3. ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.
4. ALL GLASS SHALL BE NO-GLARE/NON-REFLECTIVE.
5. RECLAIMED CORRUGATED METAL PANELS WILL VARY IN TONE AND PERCENTAGE OF WEATHERING AREA



OPTION A - RECLAIMED



OPTION B - BONDERIZED

CORRUGATED METAL ROOFING



METAL WINDOWS AND DOORS  
WITH LIGHT REDUCING, LAMINATED,  
LOW REFLECTIVE GLAZING



STAINED  
CONCRETE  
FLOORING

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WINERY**

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Hdr Date	6/20/22
Drawn By	CS/MS
Checked By	CS/MS
Project No.	230101
Date	6/20/22
Issue	NO ON PERITV
	BY: [Signature]
	DATE: [Signature]
	DATE: [Signature]
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**EXTERIOR  
MATERIALS  
MARKETPLACE &  
FERMENTATION**

**A0.22**

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OPTION A - RECLAIMED  
OPTION B - NEW DISTRESSED  
STAINED VERTICAL WOOD BOARDS



OPTION A - RECYCLED  
LOCAL STONE VENEER



OPTION B - NEW



STAINED CONCRETE FLOORING



RESERVE TASTING &  
BARREL BLDG. & OFFICE ELEVATION

NOTES:

- COLORS USED FOR EXTERIOR BUILDING SURFACES SHALL MATCH THE HUE, LIGHTNESS, AND SATURATION OF COLORS OF THE IMMEDIATELY SURROUNDING TREES. SUBJECT TO REVIEW AND APPROVAL BY THE DESIGN REVIEW COMMITTEE, SEVERAL COLORS MATCHING THOSE OF THE SURROUNDING TREES SHALL BE USED TO MINIMIZE UNIFORMITY.
- ROOF MATERIALS SHALL BE NON-GLOSSY, DARK IN COLOR, AND SYMPATHETIC WITH COLORS IN THE SURROUNDING LANDSCAPE.
- ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.
- ALL GLASS SHALL BE NO-GLARE/NON-REFLECTIVE.
- RECLAIMED CORRUGATED METAL PANELS WILL VARY IN TONE AND PERCENTAGE OF WEATHERING AREA



OPTION A - RECLAIMED



OPTION B - BONDERIZED

CORRUGATED METAL ROOFING



STAINED WOOD DOORS



METAL WINDOWS AND DOORS  
WITH LIGHT REDUCING, LAMINATED,  
LOW REFLECTIVE GLAZING

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**THE KENWOOD RANCH**  
**WINERY**  
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File Date	8/26/20
Drawn By	CCP/20
Checked By	CCP/20
Project No.	200141
Date	8/26/20
Issue	ISSUE FOR PERMIT
By	CCP/20
Checked By	CCP/20

**EXTERIOR MATERIALS**  
**RESERVE TASTING, BARREL BLDG. & OFFICE**

**A0.23**



OPTION A - RECLAIMED

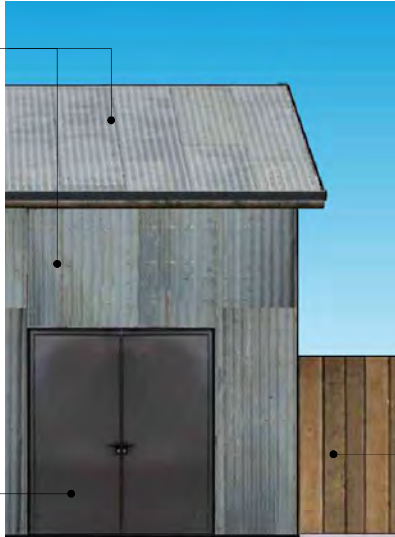


OPTION B - BONDERIZED

CORRUGATED METAL SIDING  
AND ROOFING



PAINTED METAL DOORS



SERVICE BUILDING ELEVATION



STAINED CONCRETE FLOORING



OPTION A - RECLAIMED  
OPTION B - NEW DISTRESSED  
STAINED VERTICAL WOOD BOARDS

NOTES:

1. COLORS USED FOR EXTERIOR BUILDING SURFACES SHALL MATCH THE HUE, LIGHTNESS, AND SATURATION OF COLORS OF THE IMMEDIATELY SURROUNDING TREES. SUBJECT TO REVIEW AND APPROVAL BY THE DESIGN REVIEW COMMITTEE, SEVERAL COLORS MATCHING THOSE OF THE SURROUNDING TREES SHALL BE USED TO MINIMIZE UNIFORMITY.
2. ROOF MATERIALS SHALL BE NON-GLOSSY, DARK IN COLOR, AND SYMPATHETIC WITH COLORS IN THE SURROUNDING LANDSCAPE.
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4. ALL GLASS SHALL BE NO-GLARE/NON-REFLECTIVE.
5. RECLAIMED CORRUGATED METAL PANELS WILL VARY IN TONE AND PERCENTAGE OF WEATHERING AREA.

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**THE KENWOOD RANCH  
WINERY**

1180 CAMPBELL LANE  
KENWOOD, CALIFORNIA 95029

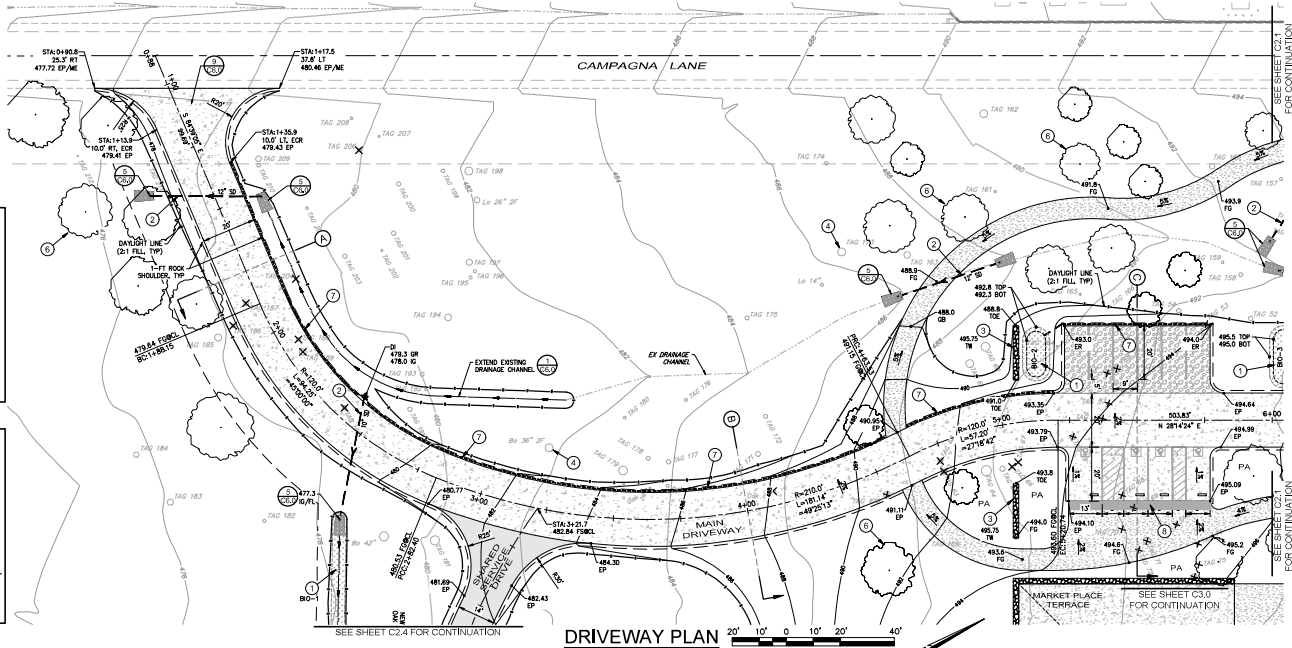
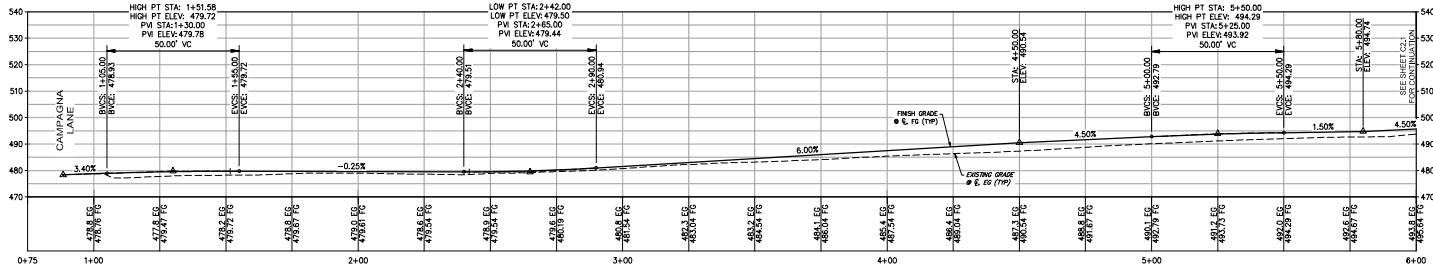


Hot Date	8/26/22
Drawn By	CM
Checked By	CM
Project No.	22-01
Date	8/26/22
Issue	01 - IN FIELD
	02 - REVISIONS

EXTERIOR  
MATERIALS  
SERVICE BLDG.

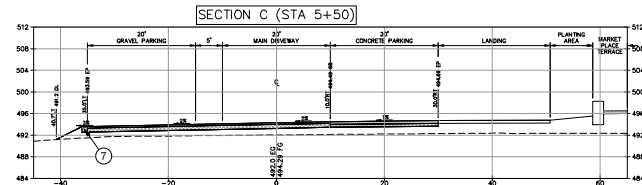
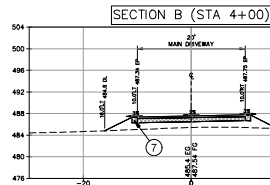
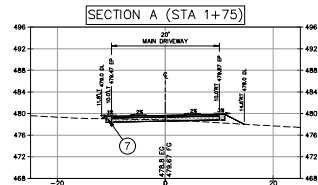
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- KEY NOTES**
- BIORENTION FACILITY
  - STORM DRAIN/ CULVERT
  - LANDSCAPE ROCK WALL (SLP)
  - EX TREE TO REMAIN
  - EX TREE TO BE REMOVED
  - NEW TREE (SLP)
  - FRENCH DRAIN UNDER ROCK SHOULDER
  - 3-FT TRUNCATED DOMES (TYP)

- PAVING LEGEND**
- ASPHALT CONCRETE PAVEMENT  
3" AC OVER 9" CL II AB
  - DECOMPOSED GRANITE (STABILIZED, \*)
  - GRAVEL PAVING (12" CL II AB)
  - CONCRETE PAVING:  
+ VEHICULAR: 4" FOC w/ #3 REBAR @ 18"  
+ D.C.E.W. OVER 6" CL II AB  
+ PEDESTRIAN: 4" FOC OVER 4" CL II AB (\*)
- (\*) SEE LANDSCAPE PLANS FOR DETAILS  
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.



**TYPICAL SECTIONS**

Graphic Scale: 1" = 10' (H&V)

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**THE KENWOOD RANCH WINERY**  
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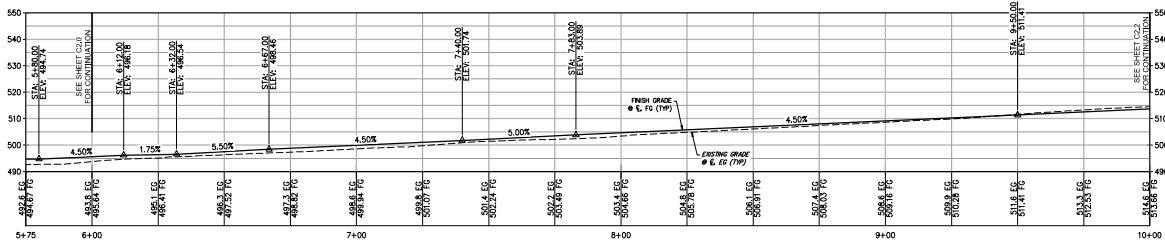
Plot Date	7/2022
Drawn By	20772
Checked By	2069
Project No.	202205.01
Date	11.23.21
Issue#	07.06.22
Revision	REVISOR'S REVISED DRAWINGS

**DRIVEWAY PLAN & PROFILE**

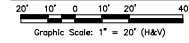
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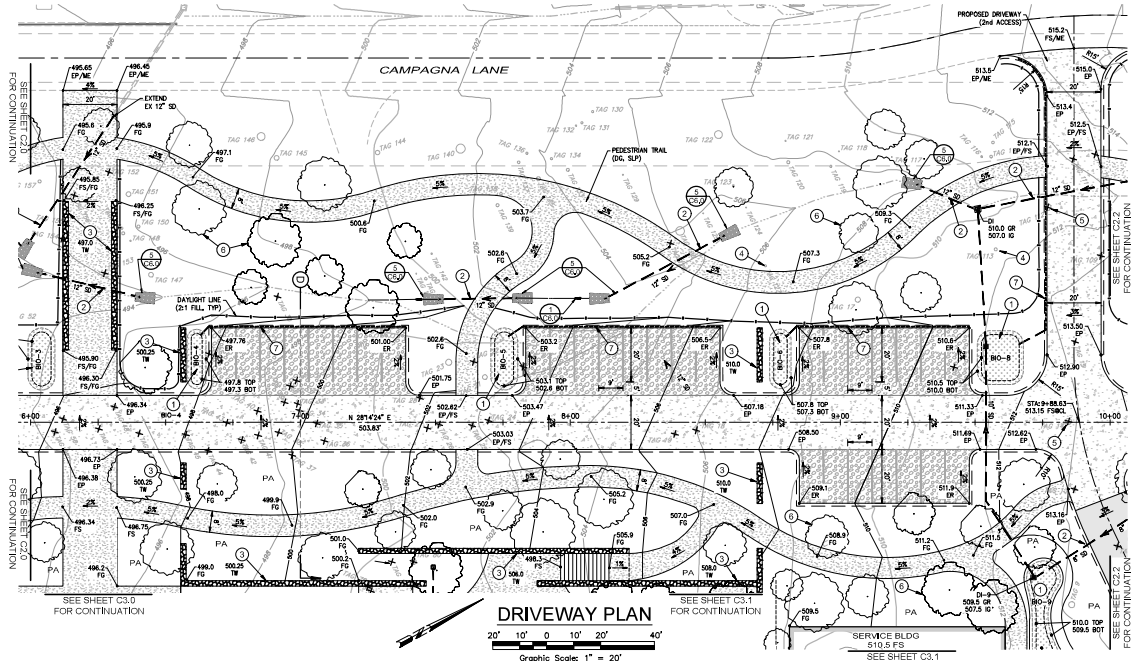


**DRIVEWAY PROFILE**

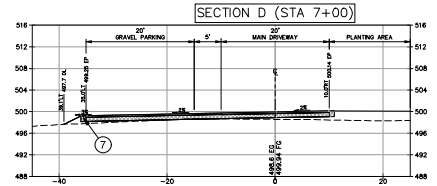
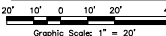


- KEY NOTES**
- 1 BIORETENTION FACILITY
  - 2 STORM DRAIN / CULVERT
  - 3 LANDSCAPE ROCK WALL (SLP)
  - 4 EX TREE TO REMAIN
  - 5 EX TREE TO BE REMOVED
  - 6 NEW TREE (SLP)
  - 7 FRENCH DRAIN UNDER ROCK SHOULDER
  - 8 3-FT TRUNCATED DUMES (TYP)

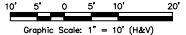
- PAVING LEGEND**
- ASPHALT CONCRETE PAVEMENT  
3" AC OVER 9" CL II AB
  - DECOMPOSED GRANITE (STABILIZED, \*)
  - GRAVEL PAVING (1 1/2" CL I AB)
  - CONCRETE PAVING:
    - + REINFOR 4" PCC w/ #3 REBAR @ 18"
    - + C.C.E.W OVER 4" CL II AB
    - + PEDESTRIAN 4" PCC OVER 4" CL II AB (\*)
- (\*) SEE LANDSCAPE PLANS FOR DETAILS  
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.



**DRIVEWAY PLAN**



**TYPICAL SECTION**



**adobe associates, inc.**  
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**THE KENWOOD RANCH  
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KENWOOD, CALIFORNIA 94949



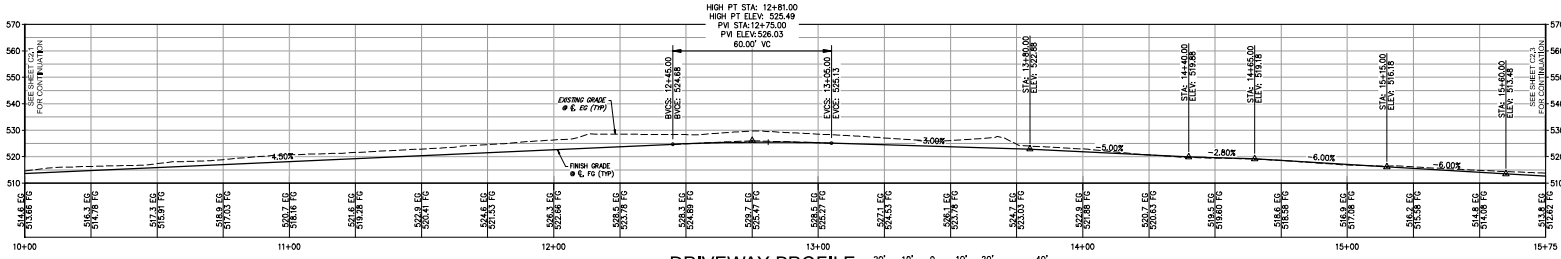
Plot Date	7/2022
Drawn By	20772
Checked By	2069
Project No.	20220020
Date	07.06.22
Issue	DESIGN REVIEW
Drawing set	REVISED DRC DRAWINGS

**DRIVEWAY  
PLAN &  
PROFILE**

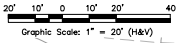
SCALE : AS NOTED

**C2.1**

T:\2020 PROJECTS\20200714\Kenwood-Design\Design Review\2020\_C2.0\_24\_Driveway Plan & Profile.dwg, Date: 07/06/2022, 3:02:27 PM

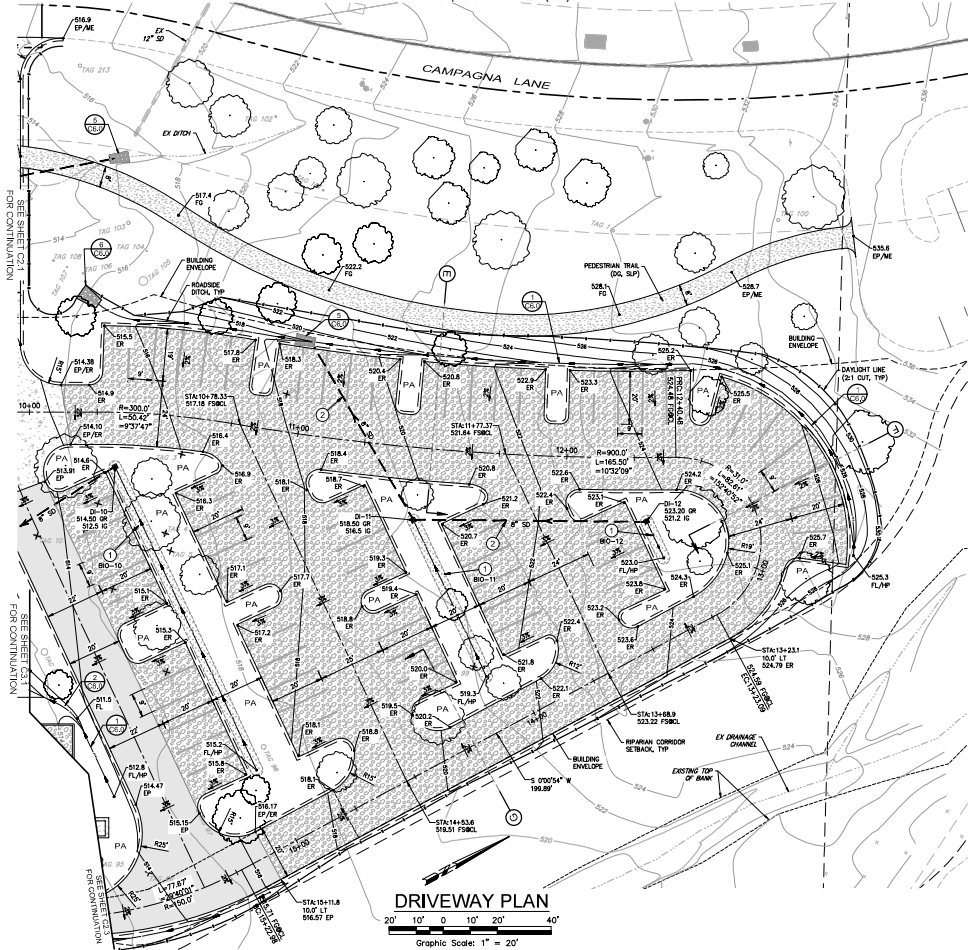


**DRIVEWAY PROFILE**

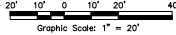


- KEY NOTES**
- BIORETENTION FACILITY
  - STORM DRAIN / CULVERT
  - LANDSCAPE ROCK WALL (SLP)
  - EX TREE TO REMAIN
  - EX TREE TO BE REMOVED
  - NEW TREE (SLP)
  - FRENCH DRAIN UNDER ROCK SHOULDER
  - 3-FT TRUNCATED DOMES (TYP)

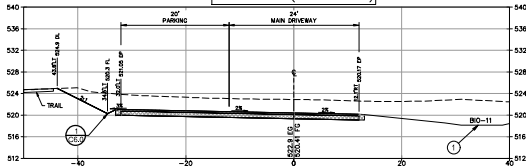
- PAVING LEGEND**
- ASPHALT CONCRETE PAVEMENT  
3" AC OVER 9" CL II AB
  - DECOMPOSED GRANITE (STABILIZED, \*)
  - GRAVEL PAVING (12" CL II AB)
  - CONCRETE PAVING:  
+ VEHICULAR: 6" PCC w/ #3 REBAR @ 18"  
CLEAR OVER 4" CL II AB  
+ PEDESTRIAN: 4" PCC OVER 4" CL II AB (\*)
- (\*) SEE LANDSCAPE PLANS FOR DETAILS  
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.



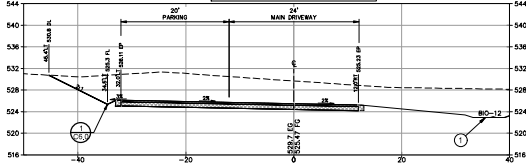
**DRIVEWAY PLAN**



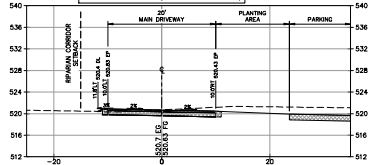
**SECTION E (STA 11+50)**



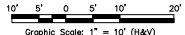
**SECTION F (STA 12+75)**



**SECTION G (STA 14+25)**



**TYPICAL SECTIONS**



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Website: www.adobeinc.com

**THE KENWOOD RANCH  
WINERY**



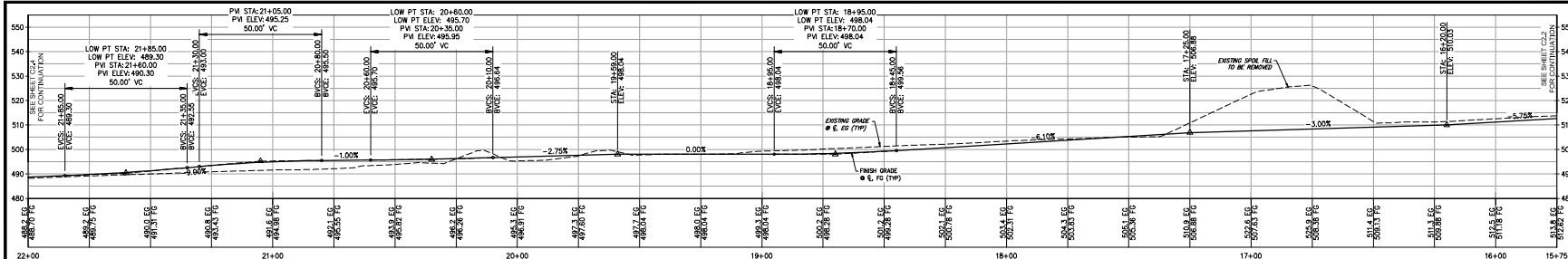
Plot Date	7/2022
Drawn By	20772
Checked By	2052
Project No.	202205.01
Date	12/23/21
Revision	07/06/22
Issue	DESIGN REVIEW
Drawing set	REVISED DRC DRAWINGS

**DRIVEWAY  
PLAN &  
PROFILE**

SCALE : AS NOTED

**C2.2**

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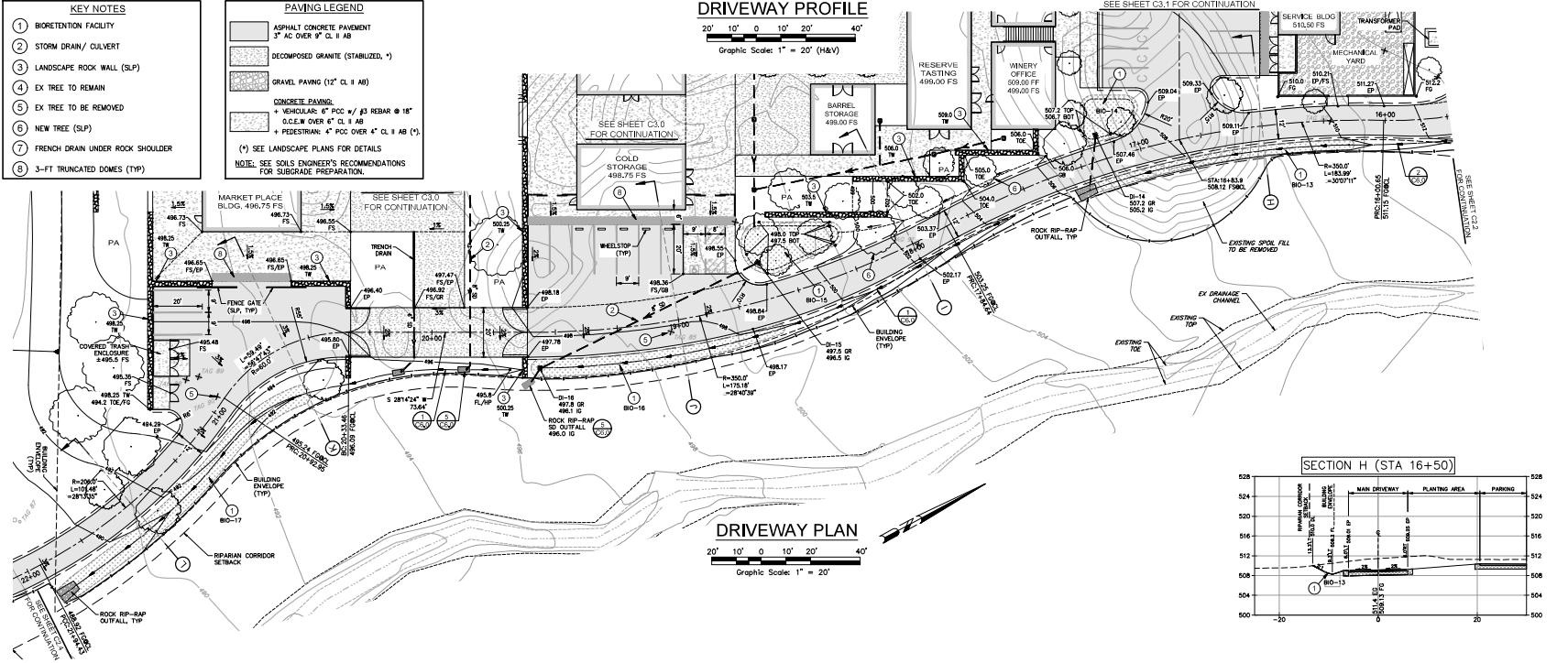
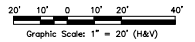
- KEY NOTES**
- BIORETENTION FACILITY
  - STORM DRAIN / CULVERT
  - LANDSCAPE ROCK WALL (SLP)
  - EX TREE TO REMAIN
  - EX TREE TO BE REMOVED
  - NEW TREE (SLP)
  - FRENCH DRAIN UNDER ROCK SHOULDER
  - 3'-FT TRUNCATED DOMES (TYP)

**PAVING LEGEND**

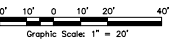
- ASPHALT CONCRETE PAVEMENT 3" AC OVER 8" CL # 4B
- DECOMPOSED GRANITE (STABILIZED, \*)
- GRAVEL PAVING (12" CL # 4B)
- CONCRETE PAVING:
  - \* SCHOLAR: 6" PCC #4 REBAR @ 18" O.C.E.W OVER 6" CL # 4B
  - \* PEDESTRIAN: 4" PCC OVER 4" CL # 4B (T)

(\* SEE LANDSCAPE PLANS FOR DETAILS)  
 NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.

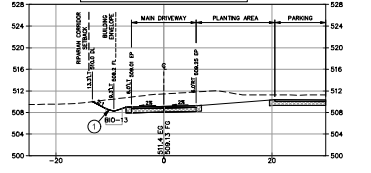
**DRIVEWAY PROFILE**



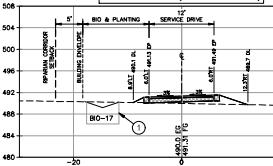
**DRIVEWAY PLAN**



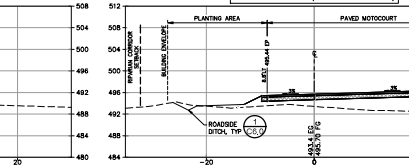
**SECTION H (STA 16+50)**



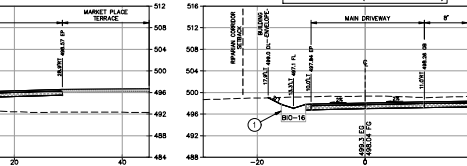
**SECTION L (STA 21+50)**



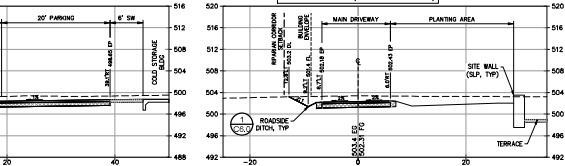
**SECTION K (STA 20+60)**



**SECTION J (STA 19+00)**



**SECTION I (STA 18+00)**



**TYPICAL SECTIONS**



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**THE KENWOOD RANCH WINERY**  
 180 CAMPANIAN LANE  
 KENWOOD, CALIFORNIA 94949

REGISTERED PROFESSIONAL ENGINEER  
 CIVIL ENGINEERING  
 No. 41833  
 Exp. 7/30/2025  
 STATE OF CALIFORNIA

Plot Date	7/2022
Drawn By	20772
Checked By	2020
Project No.	20220020
Date	12.23.21
Issue	DESIGN REVIEW
Drawing set	REVISED DRG DRAWINGS

**DRIVEWAY PLAN & PROFILE**  
 SCALE: AS NOTED

**C2.3**  
 5 OF 13

13.0000 PROJECT: 20220020-01-Winery-Design-Design-Review-20220020-C2.3-1-4-Driveway-Plan-&-Profile.dwg, 6/20/2022, 2:46:08 PM



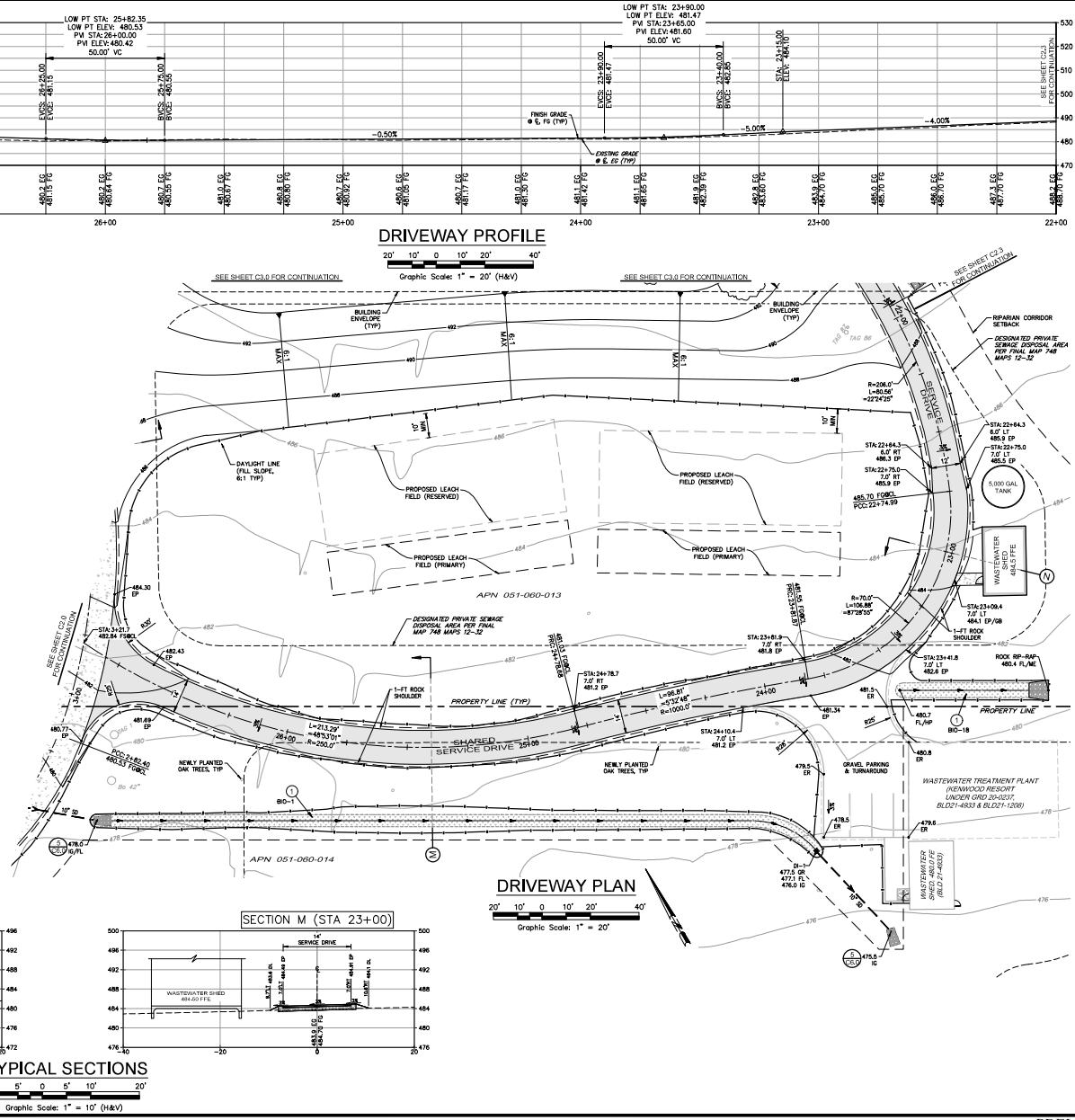


Plot Date	7/2022
Drawn By	DEB
Checked By	DEB
Project No.	202205.01
Date	07.06.22
Issue	DESIGN SET
Revision	REVISED DRC DRAWINGS

**DRIVEWAY  
 PLAN &  
 PROFILE**

SCALE : AS NOTED

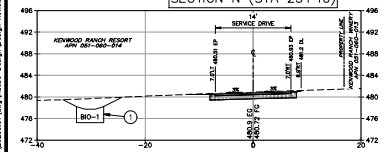
**C2.4**



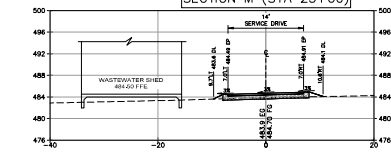
- KEY NOTES**
- BIRETENTION FACILITY
  - STORM DRAIN / CULVERT
  - LANDSCAPE ROCK WALL (SLP)
  - EX TREE TO REMAIN
  - EX TREE TO BE REMOVED
  - NEW TREE (SLP)
  - FRENCH DRAIN UNDER ROCK SHOULDER
  - 3-FT TRUNCATED DOMES (TYP)

- PAVING LEGEND**
- ASPHALT CONCRETE PAVEMENT  
3" AC OVER 9" CL II AB
  - DECOMPOSED GRANITE (STABILIZED, \*)
  - GRAVEL PAVING (12" CL II AB)
- CONCRETE FINISH:**
- VEHICULAR: 6" PCC w/ #3 REBAR @ 18" O.C.E.W OVER 6" CL II AB
  - PEDESTRIAN: 4" PCC OVER 4" CL II AB (V)
- (\*) SEE LANDSCAPE PLANS FOR DETAILS  
 NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SURFACE PREPARATION.

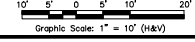
**SECTION N (STA 25+40)**



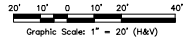
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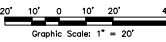
**TYPICAL SECTIONS**



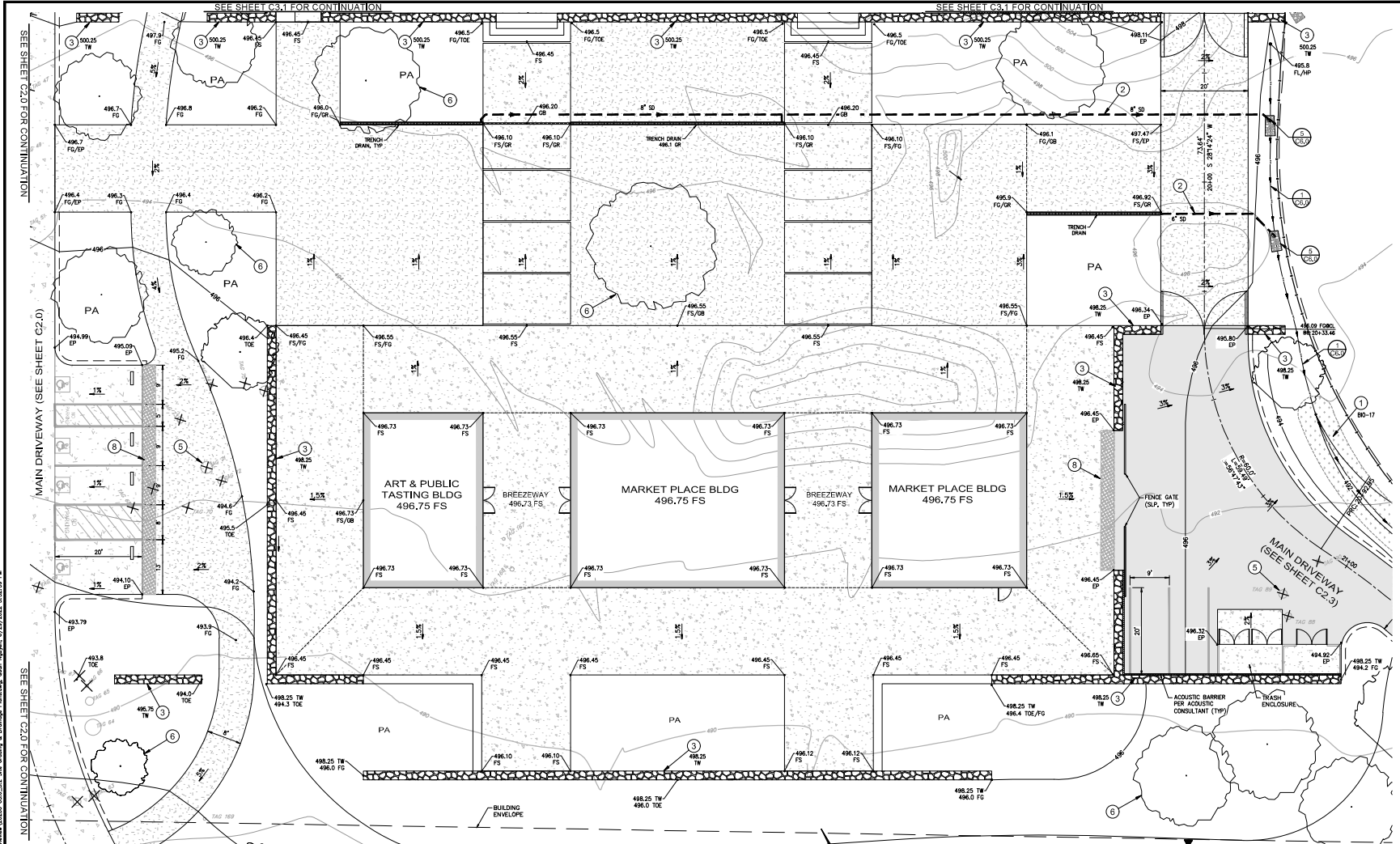
**DRIVEWAY PROFILE**



**DRIVEWAY PLAN**



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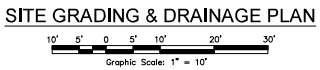
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	DECOMPOSED GRANITE (STABILIZED, *)
	GRAVEL PAVING (12" CL # AB)
	CONCRETE PAVING: + VEHICULAR: 4" PCC w/ #3 REBAR @ 18" O.C.E.W OVER 6" CL # AB + PEDESTRIAN: 4" PCC OVER 4" CL # AB (1)

(\*) SEE LANDSCAPE PLANS FOR DETAILS  
NOTE: SEE SOLS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.

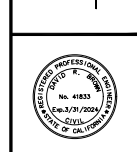
**KEY NOTES**

1	BORE RETENTION FACILITY
2	STORM DRAIN/ CULVERT
3	LANDSCAPE ROCK WALL (SLP)
4	EX TREE TO REMAIN
5	EX TREE TO BE REMOVED
6	NEW TREE (SLP)
7	FRENCH DRAIN UNDER ROCK SHOULDER
8	3-FT TRUNCATED DUMES (TYP)



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**THE KENWOOD RANCH  
WINERY**  
1880 CAMPAGNOLA LANE  
KENWOOD, CALIFORNIA 94949

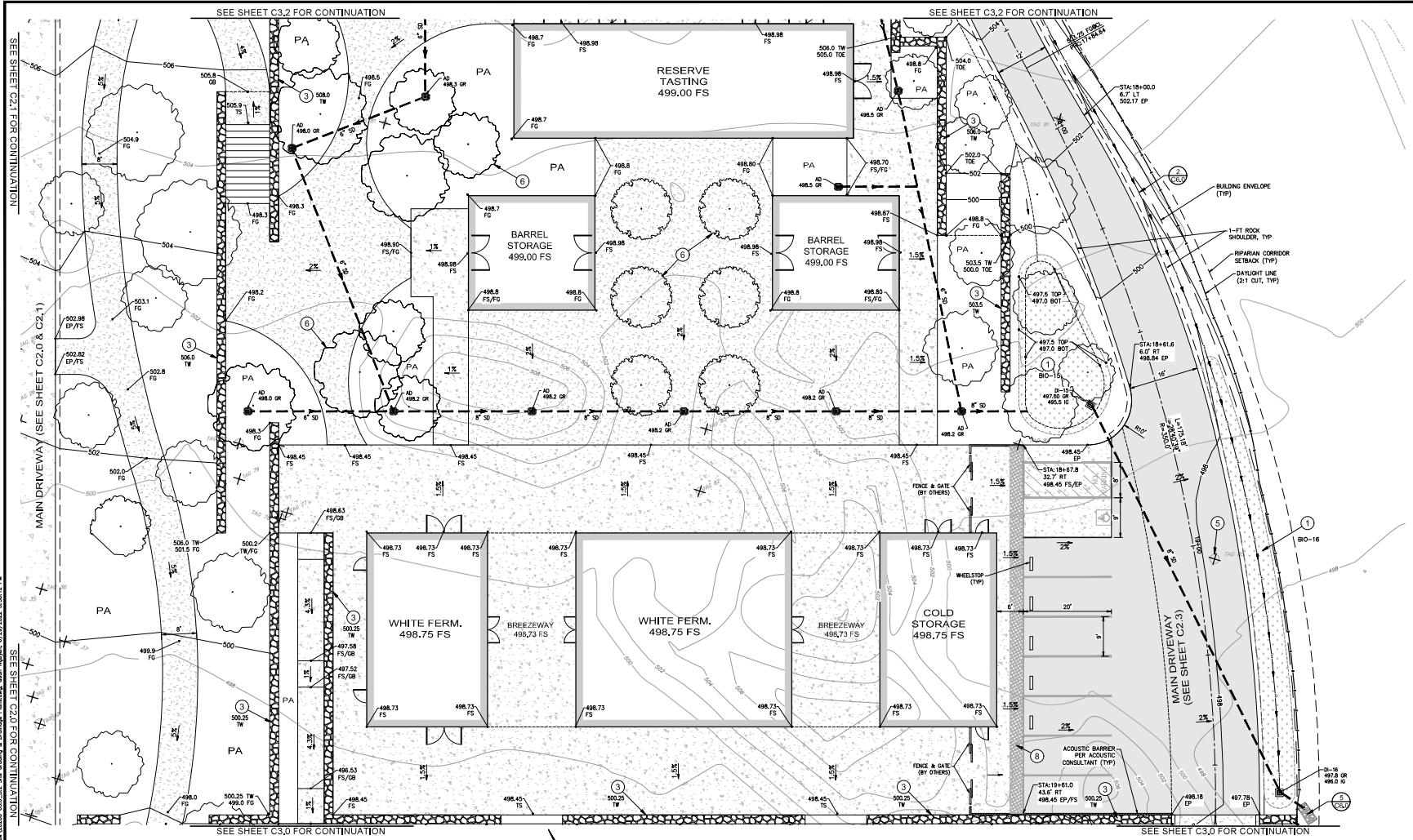


Plot Date	7/2022
Drawn By	DJG
Checked By	DJG
Project No.	20220501
Date	07/06/22
Issue	Drawing set
	DESIGN REVIEW
	REVISED DRC DRAWINGS

**SITE GRADING & DRAINAGE PLAN**

SCALE: AS NOTED

**C3.0**  
7 OF 13



SEE SHEET C3.2 FOR CONTINUATION

SEE SHEET C3.2 FOR CONTINUATION

SEE SHEET C3.0 FOR CONTINUATION

SEE SHEET C3.0 FOR CONTINUATION

**PAVING LEGEND**

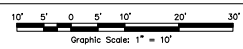
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	DECOMPOSED GRANITE (STABILIZED -*)
	GRAVEL PAVING (12" CL # AB)
	CONCRETE PAVING: + VEHICULAR: 4" PCC w/ #3 REBAR @ 18" O.C.E.W OVER 6" CL # AB + PEDESTRIAN: 4" PCC OVER 4" CL # AB (*)

(\*) SEE LANDSCAPE PLANS FOR DETAILS  
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.

**KEY NOTES**

1	BIORETENTION FACILITY
2	STORM DRAIN / CULVERT
3	LANDSCAPE ROCK WALL (SLP)
4	EX TREE TO REMAIN
5	EX TREE TO BE REMOVED
6	NEW TREE (SLP)
7	FRENCH DRAIN UNDER ROCK SHOULDER
8	3'-FT TRUNCATED DOMES (TYP)

**SITE GRADING & DRAINAGE PLAN**



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**THE KENWOOD RANCH WINERY**  
180 CAMPAGNOLA LANE  
KENWOOD, CALIFORNIA 94909

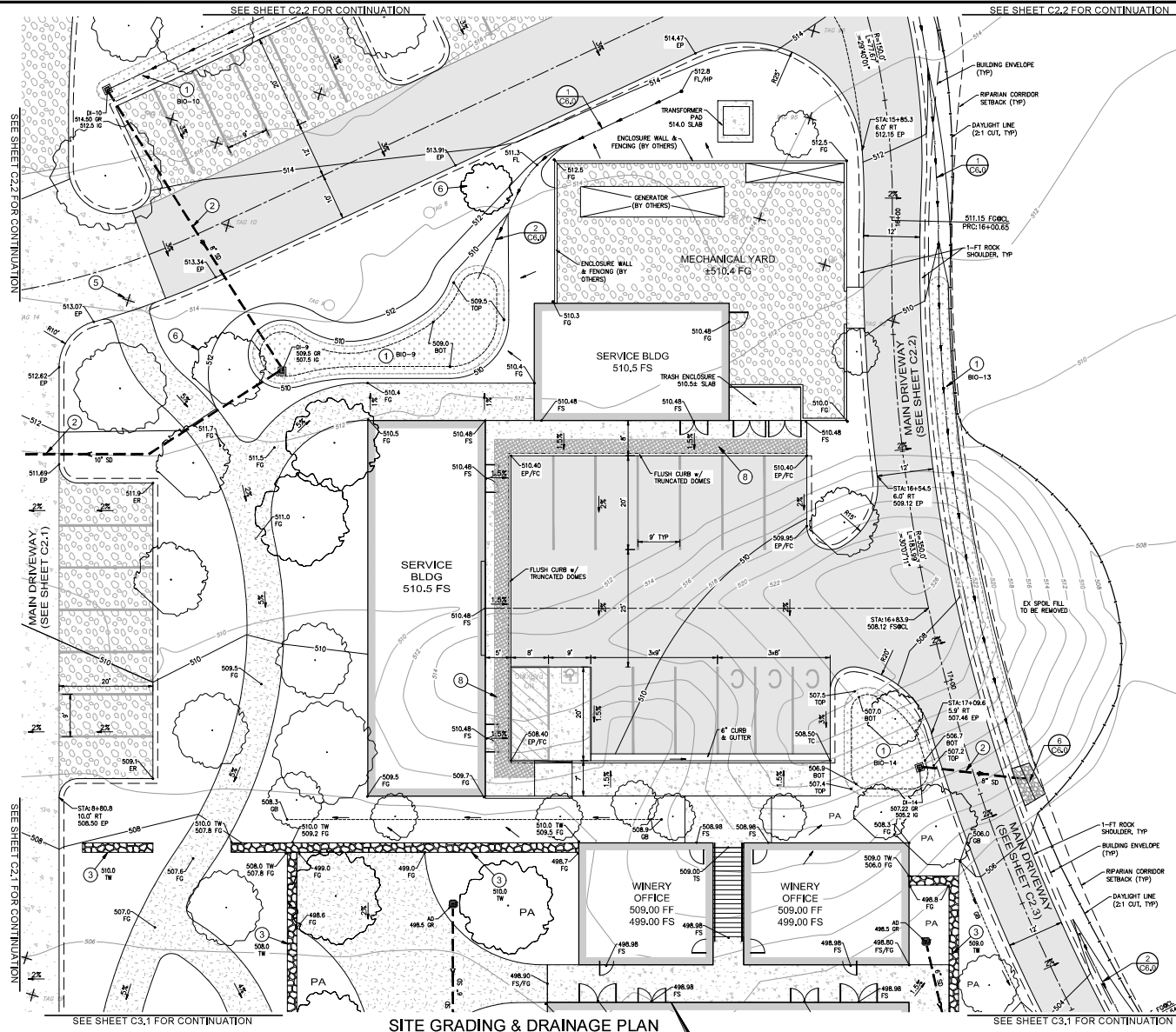
REGISTERED PROFESSIONAL ENGINEER  
No. 41933  
Exp. 07/2025  
STATE OF CALIFORNIA

Plot Date	7/2022
Drawn By	20772
Checked By	2052
Project No.	202205.01
Date	07.06.22
Issue	ISSUE
Drawing set	DESIGN REVIEW
	REVISED DRAWINGS

**SITE GRADING & DRAINAGE PLAN**

SCALE: AS NOTED

**C3.1**  
8 OF 13



SEE SHEET C2.2 FOR CONTINUATION

SEE SHEET C2.2 FOR CONTINUATION

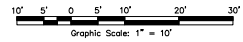
SEE SHEET C2.2 FOR CONTINUATION

SEE SHEET C2.1 FOR CONTINUATION

SEE SHEET C2.1 FOR CONTINUATION

SEE SHEET C3.1 FOR CONTINUATION

**SITE GRADING & DRAINAGE PLAN**



- KEY NOTES**
- 1 BIORETENTION FACILITY
  - 2 STORM DRAIN / CULVERT
  - 3 LANDSCAPE ROCK WALL (SLP)
  - 4 EX TREE TO REMAIN
  - 5 EX TREE TO BE REMOVED
  - 6 NEW TREE (SLP)
  - 7 FRENCH DRAIN UNDER ROCK SHOULDER
  - 8 3-FT TRUNCATED DOMES (TYP)

- PAVING LEGEND**
- ASPHALT CONCRETE PAVEMENT  
3" AC OVER 9" CL # AB
  - DECOMPOSED GRANITE (STABILIZED, \*)
  - GRAVEL PAVING (1/2" CL # AB)
  - CONCRETE PAVING:  
+ REINFORCING: 4" PCC w/ #3 REBAR @ 18"  
+ C&G OVER 4" CL # AB  
+ PEDESTRIAN: 4" PCC OVER 4" CL # AB (\*)
- (\*) SEE LANDSCAPE PLANS FOR DETAILS  
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.

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Website: www.adobeinc.com

**THE KENWOOD RANCH  
WINERY**  
180 CAMPAGNOLA LANE  
KENWOOD, CALIFORNIA 94949



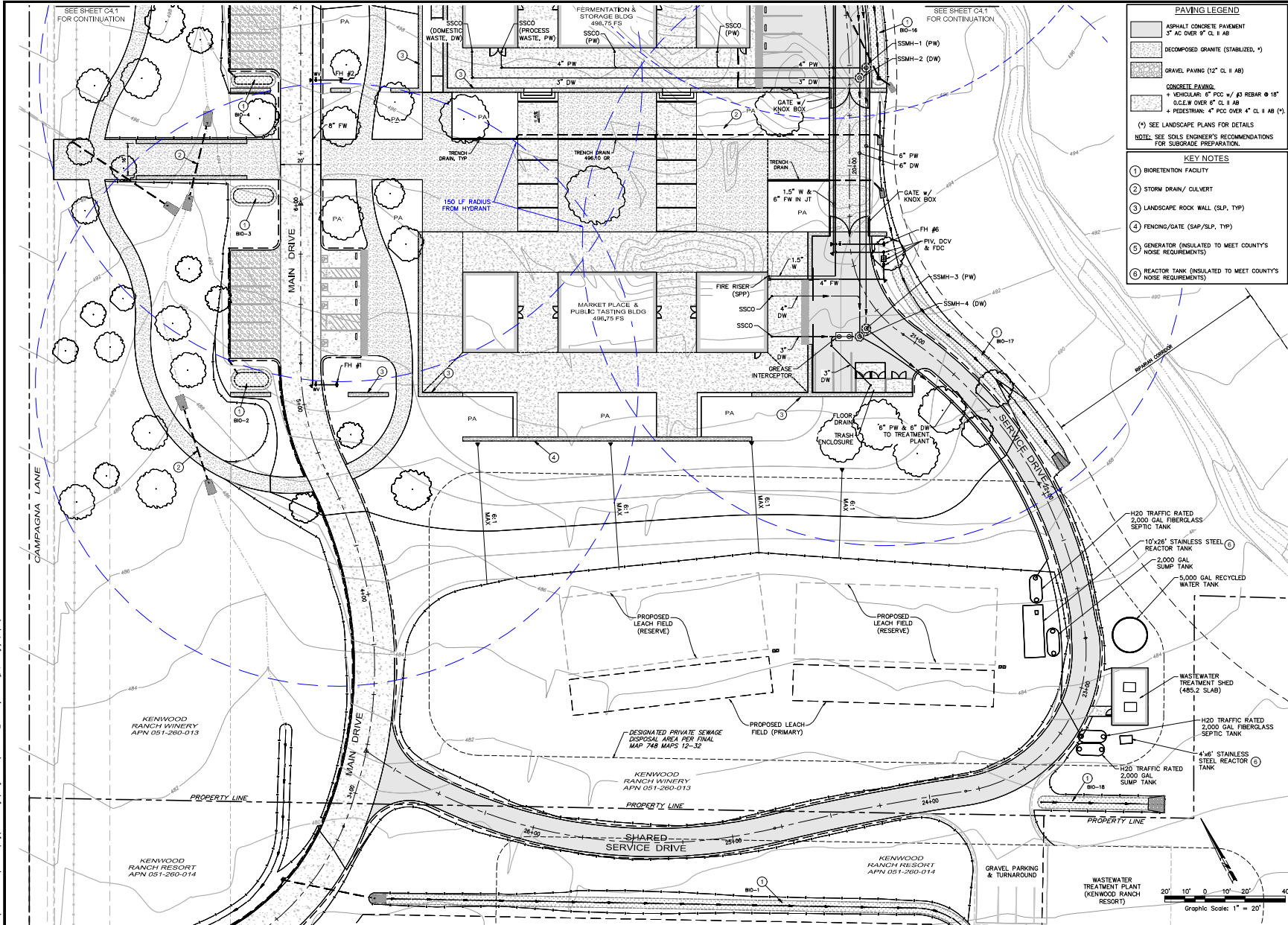
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Drawn By	20772
Checked By	2050
Project No.	202205.01
Date	Issue
12.23.21	DESIGN REVIEW
07.06.22	REVISION DRG DRAWINGS

**SITE GRADING & DRAINAGE PLAN**

SCALE: AS NOTED

**C3.2**

11/2022 PROJECTS/2022/01/18/Adobe-Design/Plan/2022-03-13\_Site\_Grading\_&\_Drainage\_Plan.dwg, Date Plotted: 6/29/2022, 3:20:16 PM



PAVING LEGEND	
	ASPHALT CONCRETE PAVEMENT 3" AC OVER 8" CL. # AB
	DECOMPOSED GRANITE (STABILIZED, *)
	GRAVEL PAVING (12" CL. # AB)
CONCRETE PAVING:	
	+ VEHICULAR: 4" PCC w/ #3 REBAR @ 18" O.C.E.W OVER 4" CL. # AB
	+ PEDESTRIAN: 4" PCC OVER 4" CL. # AB (**)
(**) SEE LANDSCAPE PLANS FOR DETAILS	
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.	
KEY NOTES	
①	BIORETENTION FACILITY
②	STORM DRAIN/ CULVERT
③	LANDSCAPE ROCK WALL (SLP, TYP)
④	FENCING/GATE (SAP/SLP, TYP)
⑤	GENERATOR (INSULATED TO MEET COUNTY'S HOSE REQUIREMENTS)
⑥	REACTOR TANK (INSULATED TO MEET COUNTY'S HOSE REQUIREMENTS)

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**THE KENWOOD RANCH WINERY**  
 180 CAMPAGNA LANE  
 KENWOOD, CALIFORNIA 94949



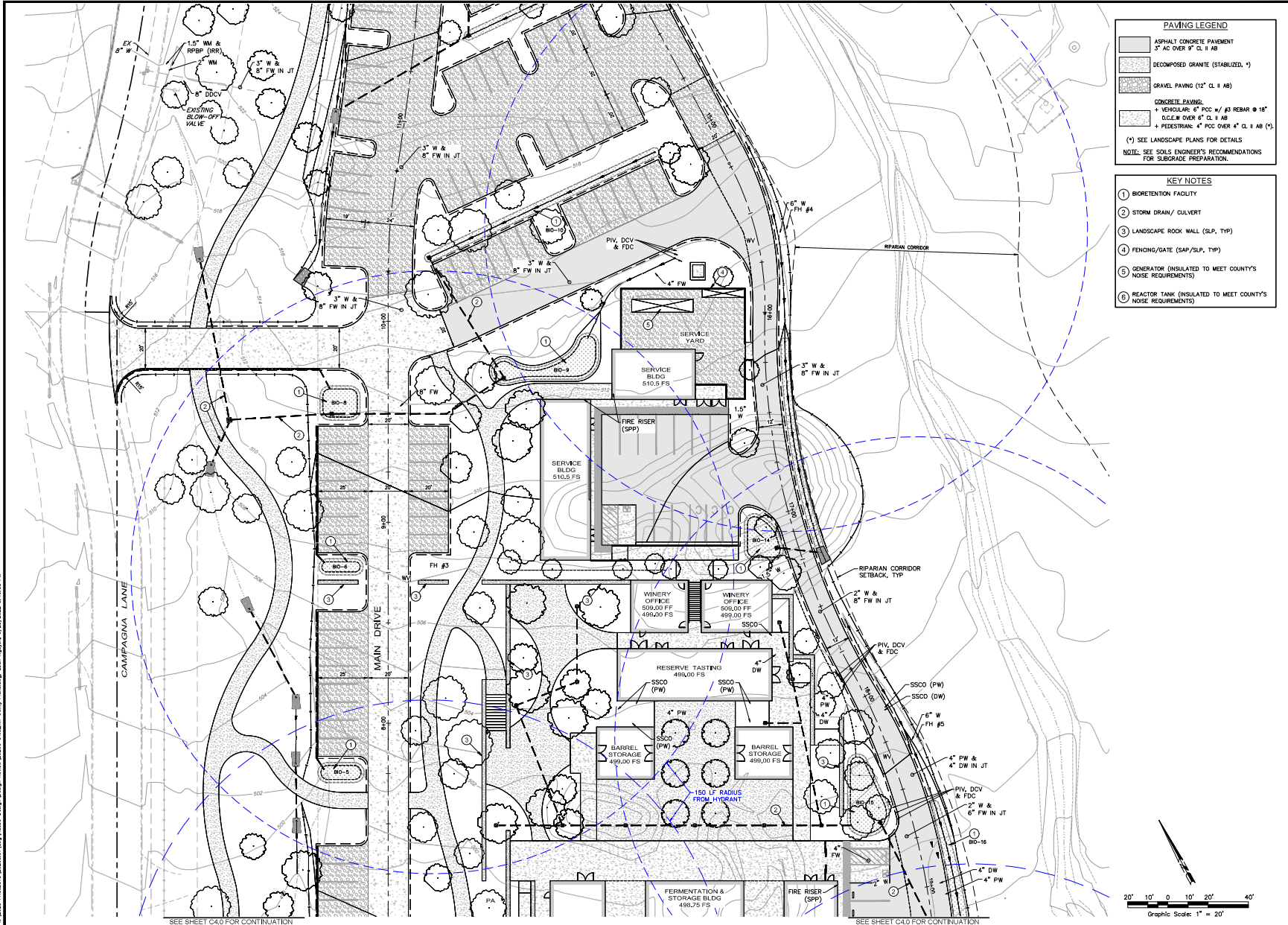
Plot Date	7/2022
Drawn By	20772
Checked By	2062
Project No.	202206.01
Date	11/23/21
Issue	DESIGN REVIEW
Drawing set	REVISIONS AND DRAWINGS
07/06/22	

**UTILITY PLAN**  
 SCALE: AS NOTED

**C4.0**  
 10 OF 13

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13.0202 PROJECT: 202002.01 Winery Addition - Design Review 3/20/2022 Review 3/20/2022 3:40:38 PM



**PAVING LEGEND**

[Pattern]	ASPHALT CONCRETE PAVEMENT 3" AC OVER 9" CL 11 AB
[Pattern]	DECOMPOSED GRANITE (STABILIZED, *)
[Pattern]	GRAVEL PAVING (12" CL 11 AB)
<b>CONCRETE PAVING:</b>	
[Pattern]	+ VEHICULAR: 4" PCC w/ #3 REBAR @ 18" O.C.L.W OVER 4" CL 11 AB
[Pattern]	+ PEDESTRIAN: 4" PCC OVER 4" CL 11 AB (1")
(*) SEE LANDSCAPE PLANS FOR DETAILS	
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.	

- KEY NOTES**
- BIORETENTION FACILITY
  - STORM DRAIN / CULVERT
  - LANDSCAPE ROCK WALL (SLP, TYP)
  - FENCING/GATE (SAP/SLP, TYP)
  - GENERATOR (INSULATED TO MEET COUNTY'S NOISE REQUIREMENTS)
  - REACTOR TANK (INSULATED TO MEET COUNTY'S NOISE REQUIREMENTS)

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 Website: www.adobeinc.com

**THE KENWOOD RANCH WINERY**  
 1180 CAMPAGNA LANE  
 KENWOOD, CALIFORNIA 94949



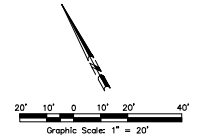
Plot Date	7/2022
Drawn By	2072
Checked By	2062
Project No.	202002.01
Date	07.06.22
Issue	ISSUE REVIEW
Drawing set	REVISOR DFC DRAWINGS

**UTILITY PLAN**

SCALE: AS NOTED

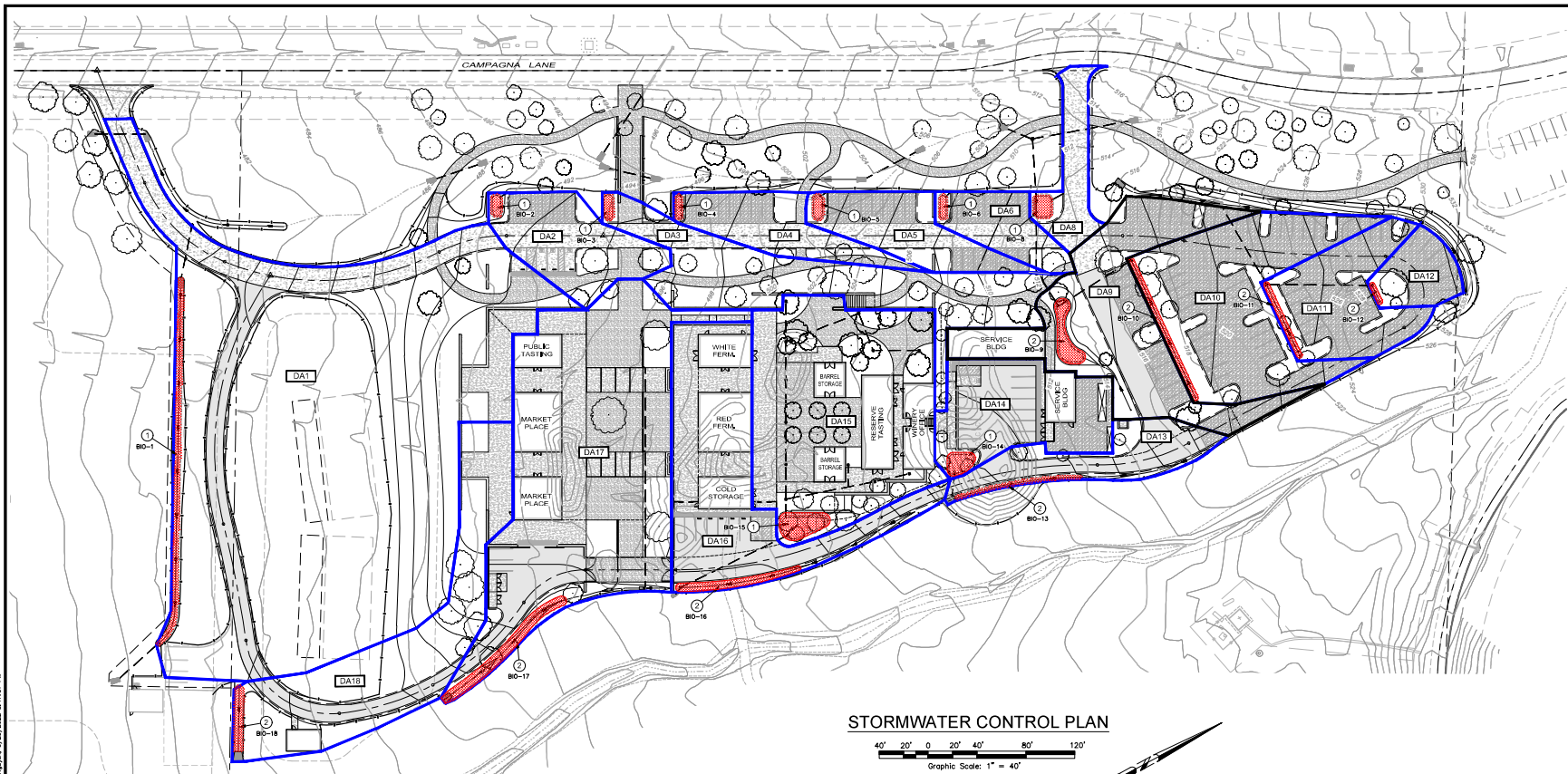
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11 OF 13

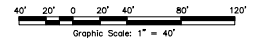


PRELIMINARY - NOT FOR CONSTRUCTION

11/2022 180CAMPAGNALANE.dwg | Author: dmpg | Date: 11/2022 3:42:07 PM | 180CAMPAGNALANE | Kenwood Winery | 180 Campagna Lane | Kenwood, California 94949



### STORMWATER CONTROL PLAN



**PAVING LEGEND**

- ASPHALT CONCRETE PAVEMENT  
3" AC OVER 8" CL 8 AB
- DECOMPOSED GRANITE (STABILIZED, \*)
- GRAVEL PAVING (12" CL 8 AB)

**CONCRETE FINISH:**

- + VERTICAL: 1" FOC w/ #3 REBAR @ 18"
- + C.O.E.W OVER 4" CL 8 AB
- + PEDESTRIAN: 4" FOC OVER 4" CL 8 AB (\*)

(\*) SEE LANDSCAPE PLANS FOR DETAILS  
NOTE: SEE SOILS ENGINEER'S RECOMMENDATIONS FOR SUBGRADE PREPARATION.

**DRAINAGE AREA LEGEND**

- DRAINAGE AREA
- POINT OF CONCENTRATION
- DRAINAGE AREA BOUNDARY
- PROPERTY LINE (E)
- DIRECTION OF FLOW
- BIORETENTION FACILITY

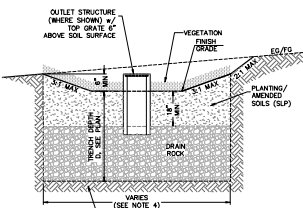
**KEY NOTES:**

- ① BIORETENTION FACILITY - RAIN GARDEN TYPE
- ② BIORETENTION FACILITY - ROADSIDE SWALE TYPE

DA NO.	TOTAL AREA (ACRES)	FACILITY NAME	BIO DETAIL	TOTAL BIO AREA (SQ FT)	TRENCH DEPTH (IN FT)	DRAINAGE VOLUME (CFS)	REQUIRED VOLUME (CF)
DA1	2.03	BO-1	2	1750	2.00	1477	1224
DA2	0.10	BO-2	2	1783	3.50	321	321
DA3	0.26	BO-3	1	209	2.00	259	221
DA4	0.14	BO-4	1	145	4.50	314	297
DA5	0.15	BO-5	1	209	3.25	354	349
DA6	0.10	BO-6	1	162	2.00	192	177
DA8	0.10	BO-8	2	510	2.00	399	245
DA7	0.41	BO-7	1	600	2.00	917	520
DA10	0.41	BO-10	2	574	2.00	76	431
DA11	0.21	BO-11	2	383	2.00	430	249
DA12	0.09	BO-12	2	84	2.00	136	95
DA13	0.17	BO-13	2	423	2.00	469	275
DA14	0.21	BO-14	2	350	3.25	419	599
DA15	0.60	BO-15	1	725	3.00	1193	1137
DA16	0.43	BO-16	1	620	4.50	1347	1310
DA17	0.82	BO-17	2	1043	4.50	2147	2092
DA18	0.43	BO-18	2	520	2.50	520	410

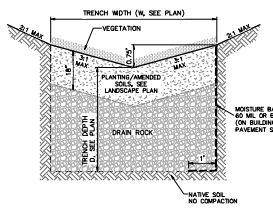
**NOTES**

(\*) THE TOTAL VOLUME INCLUDES SURFACE VOLUME (SEE LID CALCULATIONS).



- NOTES:**
- VEGETATION TO MEET LID STANDARDS; PLANTINGS MAY INCLUDE TREES.
  - AMENDED SOILS SHALL HAVE INFILTRATION RATE 5"/HR MIN AND POROSITY > 0.40 MIN.
  - DRAIN ROCK SHALL HAVE POROSITY = 0.40 MIN.
  - SEE TABLE ON THIS SHEET FOR FACILITY AREA/ DIMENSIONS AND TRENCH DEPTH (D).

① BIORETENTION FACILITY - RAIN GARDEN TYPE



- NOTES:**
- SWALE SHALL DRAIN TOWARD OUTLET AT A MIN SLOPE 0.5%.
  - VEGETATION TO MEET LID STANDARDS; PLANTINGS MAY INCLUDE TREES.
  - AMENDED SOILS SHALL HAVE INFILTRATION RATE 5"/HR MIN AND POROSITY > 0.40 MIN.
  - DRAIN ROCK SHALL HAVE POROSITY = 0.40 MIN.
  - SEE TABLE ON THIS SHEET FOR FACILITY DIMENSIONS AND TRENCH DEPTH.

② BIORETENTION FACILITY - ROADSIDE SWALE TYPE

**adobe associates, inc.**  
 Civil engineering/land surveying/water/water  
 1220 N. Duino Ave., Santa Rosa, CA 95401  
 P. (707) 541-2500 F. (707) 541-2301  
 Website: www.adobeinc.com

**THE KENWOOD RANCH WINERY**  
 180 CAMPAGNALANE  
 KENWOOD, CALIFORNIA 94949



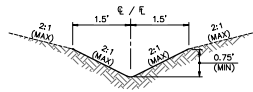
Plot Date: 7/2022  
 Drawn By: DJD  
 Checked By: DJD  
 Project No.: 202205.01

Date: 12/23/22  
 Issue: DESIGN REVIEW  
 Revised: REVISOR DRAWINGS

**STORMWATER CONTROL PLAN**

SCALE: AS NOTED

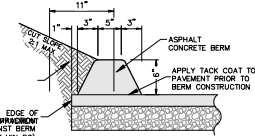
C5.0



- NOTES:**
- SWALE DEPTH IS 0.75' MIN UNLESS OTHERWISE NOTED.
  - SWALE SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MIN SLOPE 0.5% SLOPE OF ROADSIDE SHOULDS SHALL FOLLOW ROADWAY PROFILE UNLESS OTHERWISE NOTED ON THE PLANS.
  - INSTALL EROSION CONTROL BLANKETS (ROLLMATS S150 OR EQVA) WHERE VEGETATION IS NOT ESTABLISHED BEFORE WET SEASON.

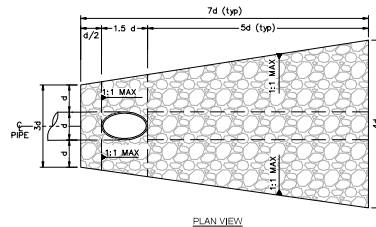
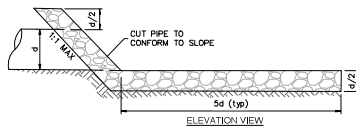
**1 VEGETATED SWALE**

NTS



**3 AC BERM**

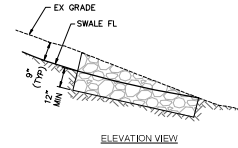
NTS



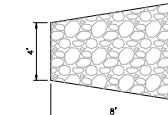
- NOTE:** ROCKS TO BE PLACED PER CALTRANS 2018 SPECIFICATIONS SECTION 72, METHOD B, CLASS II (9\"/>

**5 ROCK RIP-RAP STORM DRAIN INLET/OUTLET**

NTS



ELEVATION VIEW

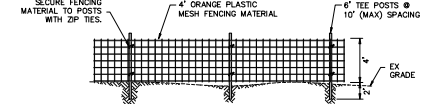


PLAN VIEW

- NOTE:** ROCKS TO BE PLACED PER CALTRANS 2018 SPECIFICATIONS SECTION 72, METHOD B, CLASS II (9\"/>

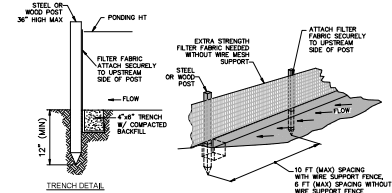
**6 ROCK RIP-RAP SWALE OFFFALL**

NTS



**7 PROTECTION FENCING**

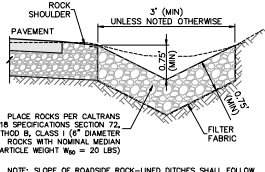
NTS



- NOTES:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - SET FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE FENCING EFFICIENCY.

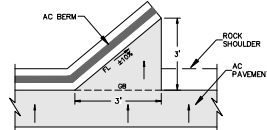
**8 SILT FENCE**

NTS



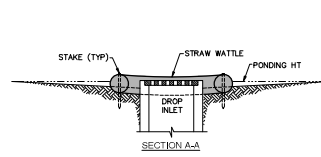
**2 ROCK-LINED DITCH**

NTS



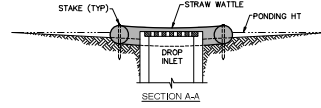
**4 AC BERM OFFFALL**

NTS

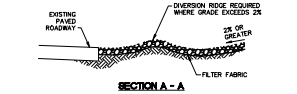


STAPLE DETAIL

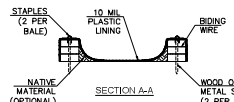
STAKE DETAIL (OR EQUAL)



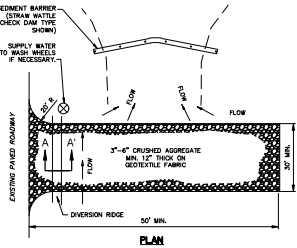
SECTION A-A



SECTION A - A



SECTION A-A



PLAN

- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

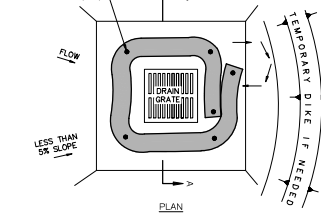
**9 TEMPORARY CONSTRUCTION ENTRANCE**

NTS

- NOTES:**
- ACTUAL LAYOUT AND LOCATION DETERMINED IN FIELD.
  - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY

**10 CONCRETE WASHOUT**

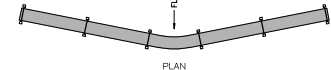
(NOT TO SCALE)



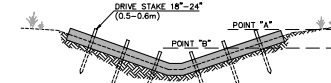
- NOTES:**
- DROP INLET SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS. (LESS THAN 5%).
  - USE 1X4 WOOD OR EQUIVALENT METAL STAKES, (3FT MIN LENGTH).
  - THE TOP OF THE FRAME (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. A TEMPORARY DIKE MAY BE NECESSARY ON THE DOWNSLOPE SIDE OF THE STRUCTURE.

**11 STRAW WATTLE DROP INLET SEDIMENT BARRIER**

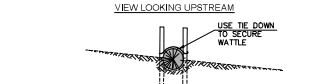
NTS



PLAN



VIEW LOOKING UPSTREAM

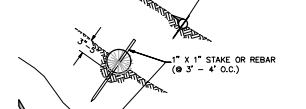
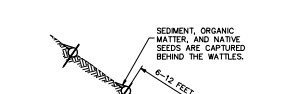


PROFILE VIEW

- NOTES:**
- EMBED WATTLES 4\"/>
  - POINT \"A\" MUST BE HIGHER THAN POINT \"B\". (SPILLWAY HEIGHT)
  - PLACE WATTLES PERPENDICULAR TO THE FLOW WITH ENDS TIGHTLY ABUTTING.
  - INSPECT AFTER EACH SIGNIFICANT STORM, MAINTAIN AND REPAIR PROMPTLY.

**12 STRAW WATTLE CHECK DAM**

NTS



- NOTES:**
- STRAW WATTLES ARE TUBES MADE FROM STRAW BOUND W/ BIO-DEGRADABLE WRAPPED NETTING. THEY ARE APPROX. 8\"/>
  - STRAW WATTLES TRAP SEDIMENT AND REDUCE SHEET & RILL EROSION BY REDUCING SLOPE GRADIENT, INCREASING INFILTRATION RATES AND BY PRODUCING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
  - STRAW WATTLE INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WATTLE IN A TRENCH, 3\"/>

**13 STRAW WATTLE SLOPE PROTECTION**

NTS

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 Civil engineering / land surveying / wastewater  
 1220 N. Duino Ave., Santa Rosa, CA 95401  
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 Website: www.adobeinc.com

**THE KENWOOD RANCH WINERY**  
 1180 CAMPANA LANE  
 KENWOOD, CALIFORNIA 94949

REGISTERED PROFESSIONAL ENGINEER  
 No. 41833  
 (Ex-307/2009)  
 CIVIL  
 STATE OF CALIFORNIA

Plot Date	7/2022
Drawn By	20772
Checked By	2002
Project No.	202205.01
Date	07.06.22
Issue	DESIGN REVIEW
12.23.21	REVISED DRAWINGS

**TYPICAL DETAILS**

SCALE : AS NOTED

**C6.0**



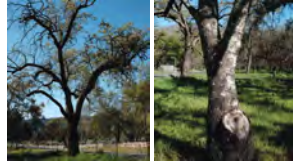
**LEGEND**

- (E) TREE - TO BE REMOVED - POOR HEALTH
- (E) TREE - TO BE REMOVED - CONSTRUCTION
- (E) TREE - TO BE PRESERVED

POOR SUITABILITY FOR PRESERVATION



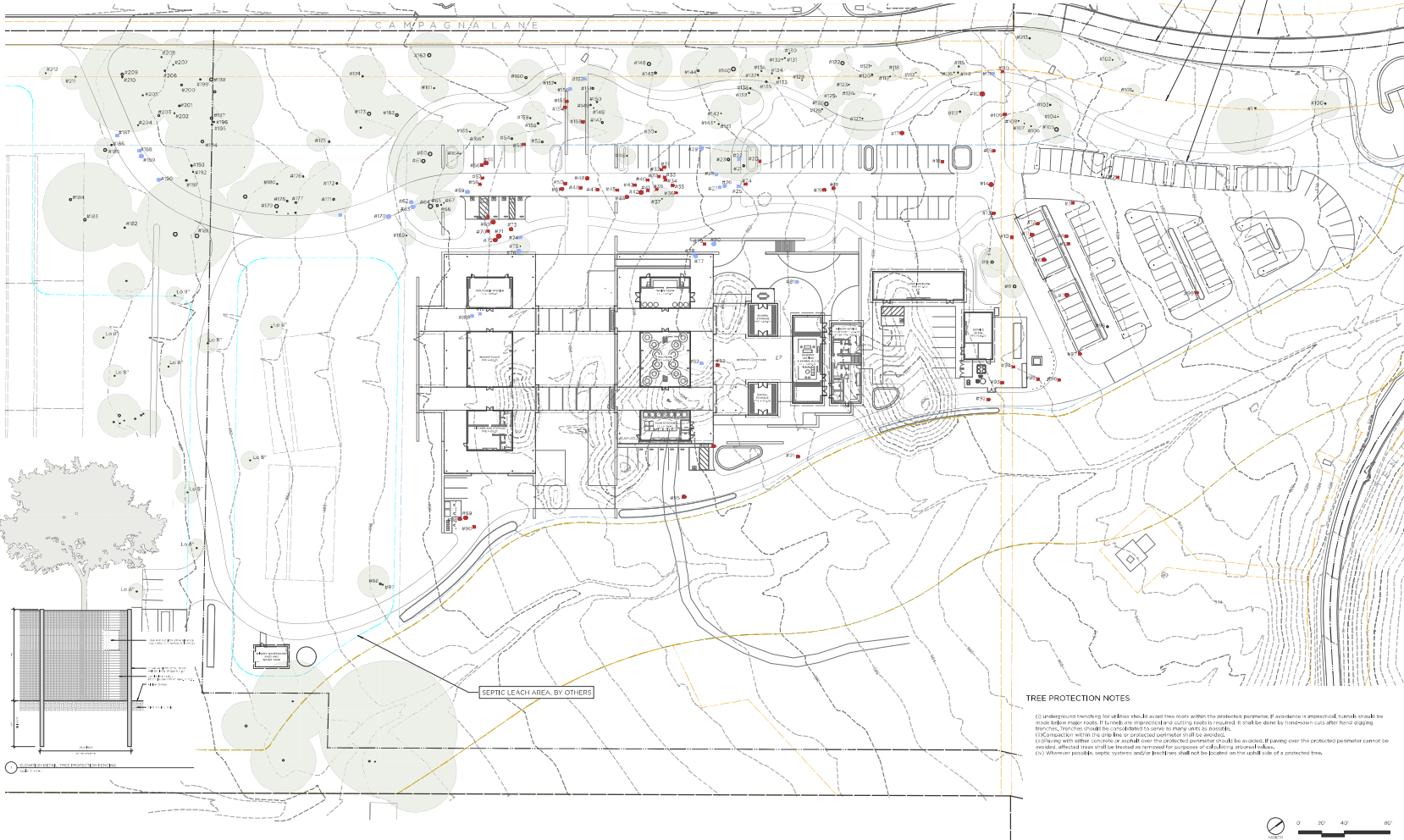
FAIR SUITABILITY FOR PRESERVATION



MODERATE SUITABILITY FOR PRESERVATION



- PROPERTY LINE
- CAMPAGNA LANE RIGHT OF WAY
- BUILDING SETBACK
- (E) TREE TO REMAIN, TYP.



**THE KENWOOD RANCH WINERY**

1180 Campagna Lane  
Kenwood, CA 95409

APN: 051-260-013

Issue set: REVISED DRC DRAWINGS  
Issue date: 07.06.22

**Revisions:**

REV.	DESCRIPTION	DATE
DESIGN REVIEW		12.23.21
REVISED DRC DRAWINGS		07.06.22

**Tree Protection Plan**

Scale: 1" = 40'  
Drawn by: JH

**LO.01**

**TREE PROTECTION NOTES**

- (1) Underground trenching for utilities shall be avoided tree roots within the protected perimeter. If avoidance is impractical, trenching shall be made below major roots. If trenching is impractical for a utility root, it shall be done by hand-dug trenches. Trenches shall be covered to prevent damage to roots as possible.
- (2) No machinery shall be used on or near the protected perimeter for fuel or electricity.
- (3) Working with other contractors or outside over the protected perimeter shall be avoided. If paving over the protected perimeter cannot be avoided, affected trees shall be treated or removed for purposes of building structural failure.
- (4) Whenever possible, septic systems and/or leach lines shall not be located on the valid side of a protected tree.



Winery Parcel Building Envelope- Individual Tree Evaluation Data

Health and Structural Rating Key:
L.D Moderate or Better Condition
D.S Fair Condition
M Marginal Condition
P Poor or Marginal Condition
V.D Poor Condition

Suitability for Preservation Ratings:
Good Trees in good health and structural condition with high potential for longevity.
Moderate Trees in fair health and/or with structural defects that can be treated with treatment.
Fair Trees in marginal health or structural condition that could possibly be mitigated or improved.
Poor Trees in poor health and/or structural condition that probably cannot be effectively treated or preserved.

Health and Structural Ratings:

Rating of relative conditions such as vigor, extent of decay, structure, and insect or disease condition.
Good and Moderate ratings indicate limited structural problems, acceptable vigor, and an absence of significant pest or disease problems.
Fair ratings indicate possible health and structural issues that could be significant.
Poor and marginal ratings indicate serious health or structural problems especially if the tree is situated near structures or public areas. Trees rated as poor or marginal are at risk of decline or structural failure.

Suitability for Preservation Factors:

Tree Health Vigorous and healthy trees are better able to tolerate construction impacts including root loss or injury.
Structural Condition Preserved trees should be structurally sound and have defects that can be effectively abated in areas near structures or high use areas.
Tree Age and Species Older trees may have reduced ability to tolerate construction impacts and adapt to changing site conditions. Additionally, individual tree species have varying tolerances to environmental impacts and changes.

Total Trees To Be Removed for Construction: 26

Total (N) Oaks to be Planted: 155

Total Trees To Be Removed per Arborist Report Recommendation: 69

Grand Total (N) Trees to be Planted: 159

Table with columns: Tree #, Species, Trunk Diameter (inches), # of Trunks, Health Rating, Structural Rating, Suitability for Preservation. Lists trees 1-106 with details on species, size, and condition.

Table with columns: Tree #, Species, Trunk Diameter (inches), # of Trunks, Health Rating, Structural Rating, Suitability for Preservation. Lists trees 107-325 with details on species, size, and condition.

O / 831,655,1414
F / 831,655,3462
537 Houston Street
Montreux, CA 95940
GROUNDSTUDIO.COM

THE KENWOOD RANCH WINERY

1180 Campagna Lane
Kenwood, CA 95409

APN: 051-260-013

Issue set: REVISED DRC DRAWINGS
Issue date: 07.06.22

Revisions:

Table with columns: REV, DESCRIPTION, DATE. Shows revision 1: DESIGN REVIEW on 12.21.21, and revision 2: REVISED DRC DRAWINGS on 07.06.22.

Tree Inventory

Scale: N/A
Drawn by: IH

L0.02

**Common Areas: Roadways & Driveways**

Shoulder area extends 5' from paved surfaces

**NOTES**

- All brush and shrub species must be removed from shoulder areas (5' from paved surfaces), individual oak and ornamental trees can be retained adjacent to the roadway, provided a minimum 15' clearance is maintained over the roadway.
- Annual grasses can be retained in the shoulder areas, provided the grasses are mowed annually to a maximum 4" height or as directed.
- Maintain 30" minimum horizontal clearance between flammable vegetation across driveways. At slopes, increase the horizontal clearance dimensions per the table on drawing FIS of the Sonoma County Fire Safe Standards document.

**Defensible Space Zone 0**

Areas within 5' of building structures

**NOTES**

- Hard surfaces such as concrete or noncombustible rock mulch are used in the 5' zone around structures. In specifically designed spaces, contained herbaceous (flowering perennials, annuals, and succulent plants) may be used (subject to review).
- Limit plants in this area to low-growing, nonwoody, properly watered and maintained plants
- Remove all dead and dying weeds, grass, plants, shrubs, trees, branches and vegetative debris (leaves, needles, cones, bark, etc.)

**Defensible Space Zone 1**

Areas within 20' of building structures

**NOTES**

- Trim trees regularly to keep branches a minimum of 10' from other trees.
- Create a separation between trees, shrubs and items that could catch fire, such as patio furniture, wood piles, swing sets, etc.
- Remove all dead and dying weeds, grass, plants, shrubs, trees, branches and vegetative debris (leaves, needles, cones, bark, etc.)
- Remove or prune flammable plants and shrubs near windows.
- Remove vegetation and items that could catch fire from around and under decks, balconies and stairs.
- Relocate wood piles to Zone 2.

**Defensible Space Zone 2**

Edge of Zone 1 to a 100' distance from building structures

**NOTES**

- Create horizontal and vertical space between grass, shrubs and trees according to all 10' Defensible Space Inspection Guidelines.
- Young or semi-mature trees less than 40' in height shall have the lower limbs removed to a height equal to 25% of the total tree height above the uphill grade (example: 20' tree requires a 5' uphill grade clearance).
- Cut or mow annual grass down to a maximum height of 4" or as directed
- Create vertical space between shrubs and trees
- Maintain full leaves, needles, twigs, bark, cone and small branches to a depth of 3" maximum.
- All exposed wood piles must have a minimum of 10' of clearance down to bare mineral soil in all directions.

**Defensible Space Zone 3**

Edge of Zone 2 to 150' distance from building structures

**NOTES**

- The same guidelines as described above will be applied. The overall landscape will be less dense with greater separation between shrub and tree groupings.

**NOTES**

1. The guidelines herein have been developed in accordance with the vegetation management plan dated March 10, 2009, Cal Fire Defensible Space Guidelines and Public Resources Code and Fire Safe from the Sonoma County Fire Code.

**2. Landscape Guidelines include the following elements:**

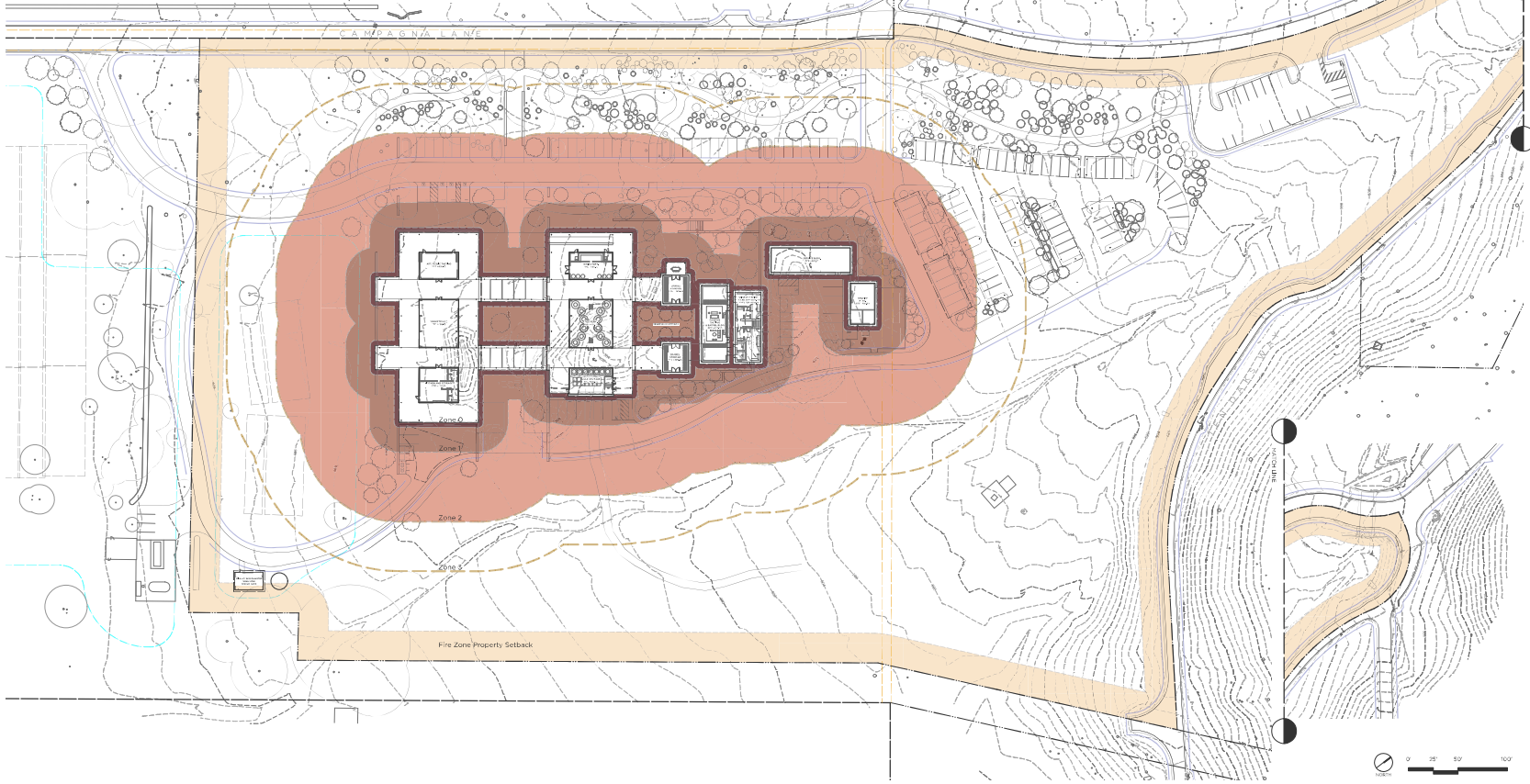
- Fire-resistant plant species are required. Landscape shrubs and groundcovers will be low growing with low foliage density. All pyrophytic plant species will be removed from this zone.
- Landscape plantings shall be grouped in island-type configurations with a maximum 18" diameter. Shrub and groundcover island plantings shall be separated by a distance no less than two times the overall shrub height (and mature or maintained height). The maximum number of woody shrubs or groundcovers shall not exceed 30% of the total area within Zone 2.
- Tree tree plantings shall use fire-resistant species. Fire resistant trees include species that are deciduous, have large fleshy leaves and open limb structures. Native oak species are naturally fire-resistant and a desirable tree species.
- Trees, or one groups of limited size, will be separated by distances of at least 20' on moderate slopes and 10' on flat areas. Shrub plantings will not be used below tree driplines. Limited numbers of irrigated ever-growing ground cover (e.g. 38") may be used below trees (subject to review). A 2" deep bark mulch (open, 10" minus grade) may be used below tree crowns. The crowns of mature trees shall be maintained at a 10' distance from the edge of a structure.
- Non-irrigated grass areas require annual mowing to maintain a maximum 4" height or as directed.

**Fire Zone Property Setback**

30' setback from all property lines and/or center of road

**NOTES**

- Structures constructed in the SRA are required to comply with the defensible space regulations in Title 14, Natural Resources Division 15, Department of Forestry and Fire Protection Chapter 7, Fire Protection Subchapter 3, Fire Hazard.



**THE KENWOOD RANCH WINERY**

1180 Campagna Lane  
Kenwood, CA 95409

APN: 051-260-013

Issue set: REVISED DRC DRAWINGS  
Issue date: 07.06.22

**Revisions:**

REV.	DESCRIPTION	DATE
	DESIGN REVIEW	12.23.21
	REVISED DRC DRAWINGS	07.06.22

**Defensible Space Requirements Plan**

Scale: 1" = 50'  
Drawn by: IH

**L0.03**

- LEGEND**
- 1 SEEDED CONCRETE PAVING
  - 2 AC PAVING
  - 3 CRUSHED ROCK W/ STABILIZER
  - 4 CRUSHED ROCK PAVING
  - 5 CONCRETE PAVING
  - 6 CONCRETE STEPS
  - 7 STONE SITE WALLS
  - 8 TIMBER FENCING



**THE KENWOOD RANCH WINERY**

1180 Campagna Lane  
Kenwood, CA 95409

APN: 051-260-013

Issue set: REVISED DRC DRAWINGS  
Issue date: 07.06.22

Revisions:

REV.	DESCRIPTION	DATE
	DESIGN REVIEW	12.23.21
	REVISED DRC DRAWINGS	07.06.22

**Landscape Site Plan**

Scale: 1" = 50'  
Drawn by: IH

**L1.0**

**PLANT LEGEND**

Symbol	Quantity	Botanical Name	Common Name	Container Size	Notes
<b>TREES</b>					
	4	<i>Acer macrophyllum</i>	Big Leaf Maple	36" box	Drip Irrigation as shown
	56	<i>Quercus agrifolia</i>	California Live Oak	36" box, 48" box	Multi or Std.
	6	<i>Quercus engelmannii</i>	Pasadenas oak	48" box	as shown
	32	<i>Quercus kelloggii</i>	Black Oak	36" box, 48" box	as shown
	29	<i>Quercus lobata</i>	Valley Oak	36" box, 48" box	as shown
	32	<i>Quercus wislizeni</i>	Inferior live oak	36" box, 48" box	as shown
<b>SHRUBS</b>					
	12	<i>Garrya elliptica</i>	Waxleaf Silkceañ	5 gal + 15 gal	Drip Irrigation as shown
	143	<i>Heteromeles arbutifolia</i>	Toyon	5 gal 15 gal 24" box	as shown
	111	<i>Rhamnus californica</i> 'Eve Cain'	Eve Cain Coffeeberry	5 gal + 15 gal	as shown
	109	<i>Rhamnus californica</i> 'Leatherleaf'	Leatherleaf Coffeeberry	5 gal + 15 gal	as shown

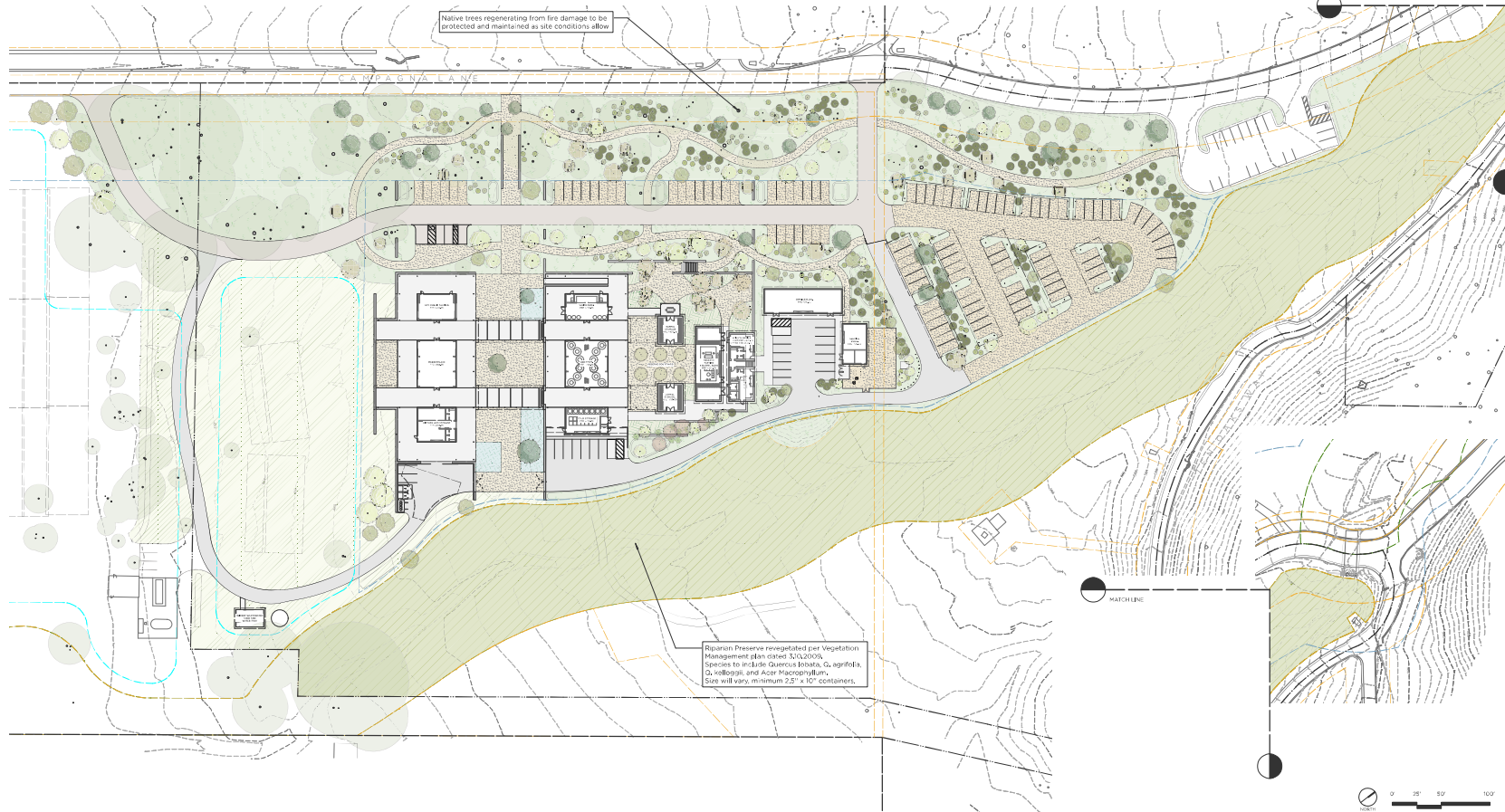
Symbol	Quantity	Botanical Name	Common Name	Container Size	Notes
<b>NATIVE WOODLAND MEADOW</b>					
	155,399 sq. ft.	<i>Eriochloa californica</i> <i>Festuca californica</i> <i>Festuca holstiana</i> <i>Festuca rubra</i> 'Molde' <i>Luzula maritima</i> <i>Festuca californica</i>	California Poppy California Fescue Bottle Fescue Molde Red Fescue Slip Luzula California Fescue		Hydroseed Hydroseed Hydroseed Hydroseed Hydroseed Hydroseed No Irrigation
<b>NATIVE OPEN MEADOW</b>					
	87,387 sq. ft.	<i>Danthonia californica</i> <i>Eriochloa californica</i> <i>Festuca holstiana</i> <i>Festuca rubra</i> 'Molde' <i>Luzula maritima</i> <i>Muhlenbergia rigens</i>	California Oatgrass California Poppy Bottle Fescue Molde Red Fescue Slip Luzula Deer Grass		Hydroseed Hydroseed Hydroseed Hydroseed Hydroseed Hydroseed No Irrigation
<b>CENTRAL COURTYARD</b>					
	3,130 sq. ft.	<i>Achillea</i> sp. <i>Eriochloa californica</i> <i>Festuca californica</i>	Yarrow sp. California Poppy California Fescue		1 gal 1 gal 1 gal + 5 gal Drip Irrigation
<b>WOODLAND TASTING GARDEN</b>					
	5,334 sq. ft.	<i>Arctostaphylos</i> 'Emerald Carpet' <i>Arctostaphylos</i> 'Pacific Mist' <i>Muhlenbergia rigens</i>	Emerald Carpet Pacific Mist Manzanita Deer Grass		1 gal + 5 gal 1 gal + 5 gal 1 gal + 5 gal Drip Irrigation

**PLANTING NOTES**

1. No plant greater than 18" tall shall be planted below a tree.
2. Plants within zones 1 and 8 shall be well-irrigated.
3. Dead plants shall be removed immediately.
4. See annual maintenance requirements in the Vegetation Management Plan, March 10, 2009; Cal Fire California Space Guidelines and Public Resources Code and Fire Safe from the Sonoma County Fire Code (L0.03) for further maintenance requirements.

O / 831.655.1414  
F / 831.655.3462  
537 Houston Street  
Monterey, CA 93940  
GROUNDSTUDIO.COM

Total (N) Oaks to be Planted: 155  
Grand Total (N) Trees to be Planted: 159



**THE KENWOOD RANCH WINERY**

1180 Campagna Lane  
Kenwood, CA 95409

APN: 051-260-013

Issue set: REVISED DRC DRAWINGS  
Issue date: 07.06.22

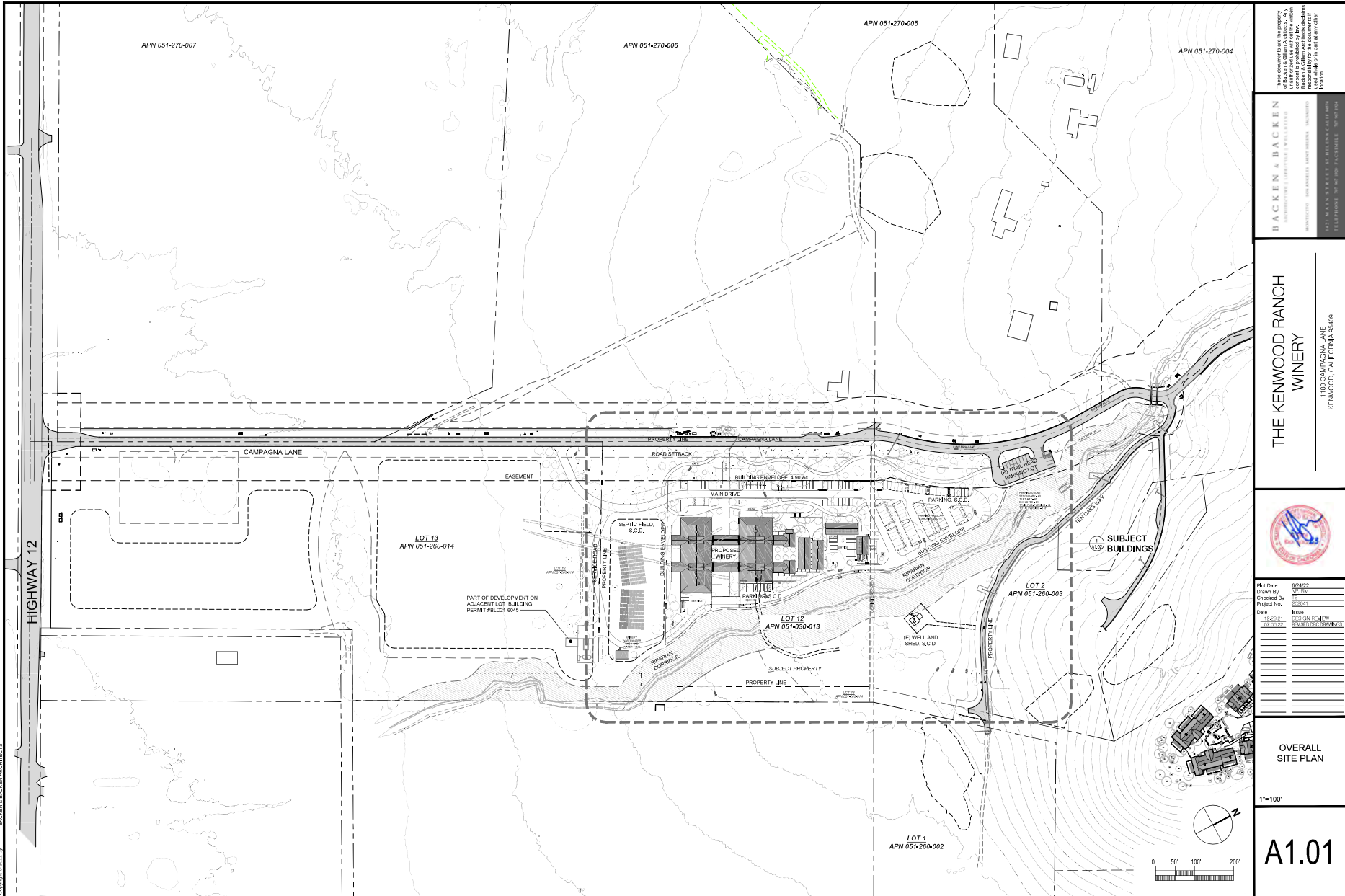
**Revisions:**

REV.	DESCRIPTION	DATE
	DESIGN REVIEW	12.23.21
	REVISED DRC DRAWINGS	07.06.22

**Planting Plan**

Scale: 1" = 50'  
Drawn by: IH

**L3.0**



APN 051-270-007

APN 051-270-006

APN 051-270-005

APN 051-270-004

HIGHWAY 12

CAMPAGNA LANE

LOT 13  
APN 051-260-014

PART OF DEVELOPMENT ON  
ADJACENT LOT, BUILDING  
PERMIT #12430-015

LOT 12  
APN 051-260-013

LOT 2  
APN 051-260-003

LOT 1  
APN 051-260-002

THE KENWOOD RANCH  
WINERY

BACKEN & BACKEN  
ARCHITECTS, INC. LICENSE # 44000  
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KENWOOD, CALIFORNIA 95049

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are for the project as shown on these  
drawings.

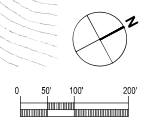


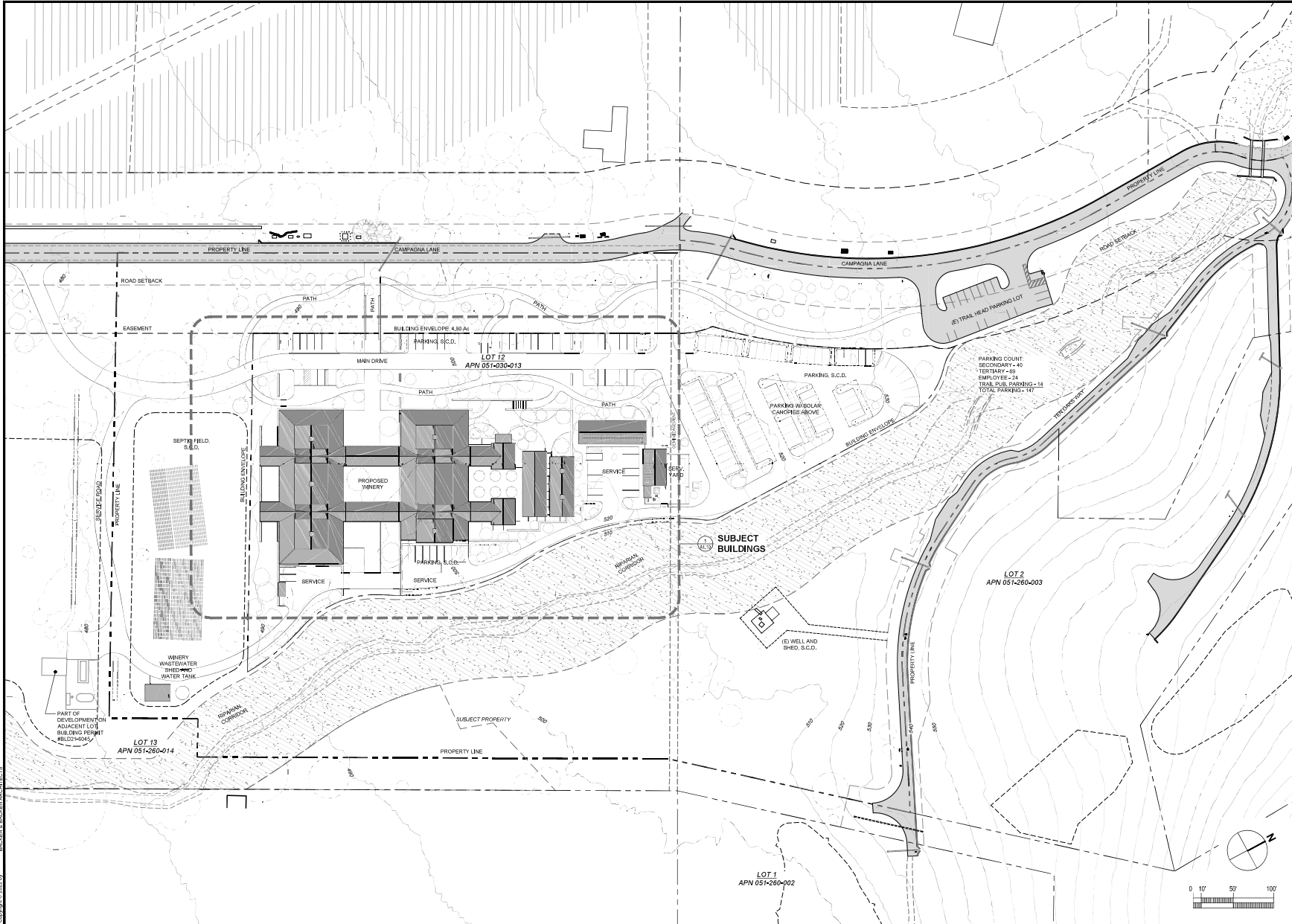
File Date	02/02/22
Drawn By	CLB
Checked By	CLB
Project No.	202202
Date	02/02/22
Scale	1" = 100' (PL)
Drawn In	AutoCAD
Drawn On	20220201
Drawn For	THE KENWOOD RANCH WINERY
Drawn By	
Drawn By	
Drawn By	
Drawn By	
Drawn By	
Drawn By	
Drawn By	
Drawn By	
Drawn By	
Drawn By	
Drawn By	

OVERALL  
SITE PLAN

1"=100'

A1.01





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KENWOOD, CALIFORNIA 95009

**THE KENWOOD RANCH WINERY**



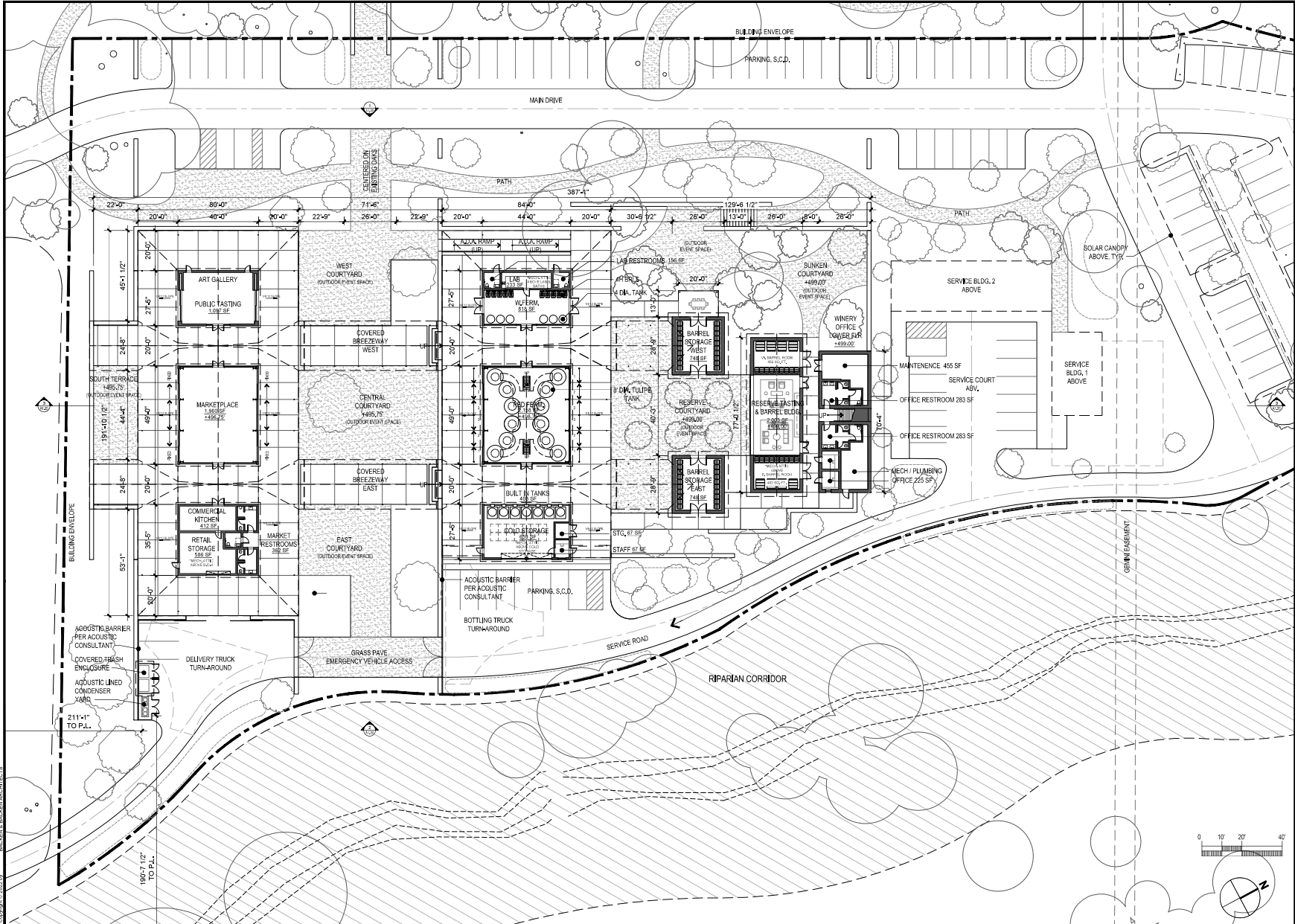
File Date	02/22/20
Drawn By	DAVID
Checked By	DAVID
Project No.	201901
Date	02/22/20
Scale	AS SHOWN
Drawn On	201901
Drawn By	DAVID
Checked By	DAVID

**WINERY PROPERTY PLAN**

1"=50'

**A1.02**

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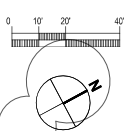
**THE KENWOOD RANCH**  
**WINERY**



For Date	6/24/22
Drawn By	CS/MLP
Checked By	CS/MLP
Project No.	22004
Date	6/24/22
Issue	ISSUE FOR PERMIT
Scale	AS SHOWN ON EACH SHEET

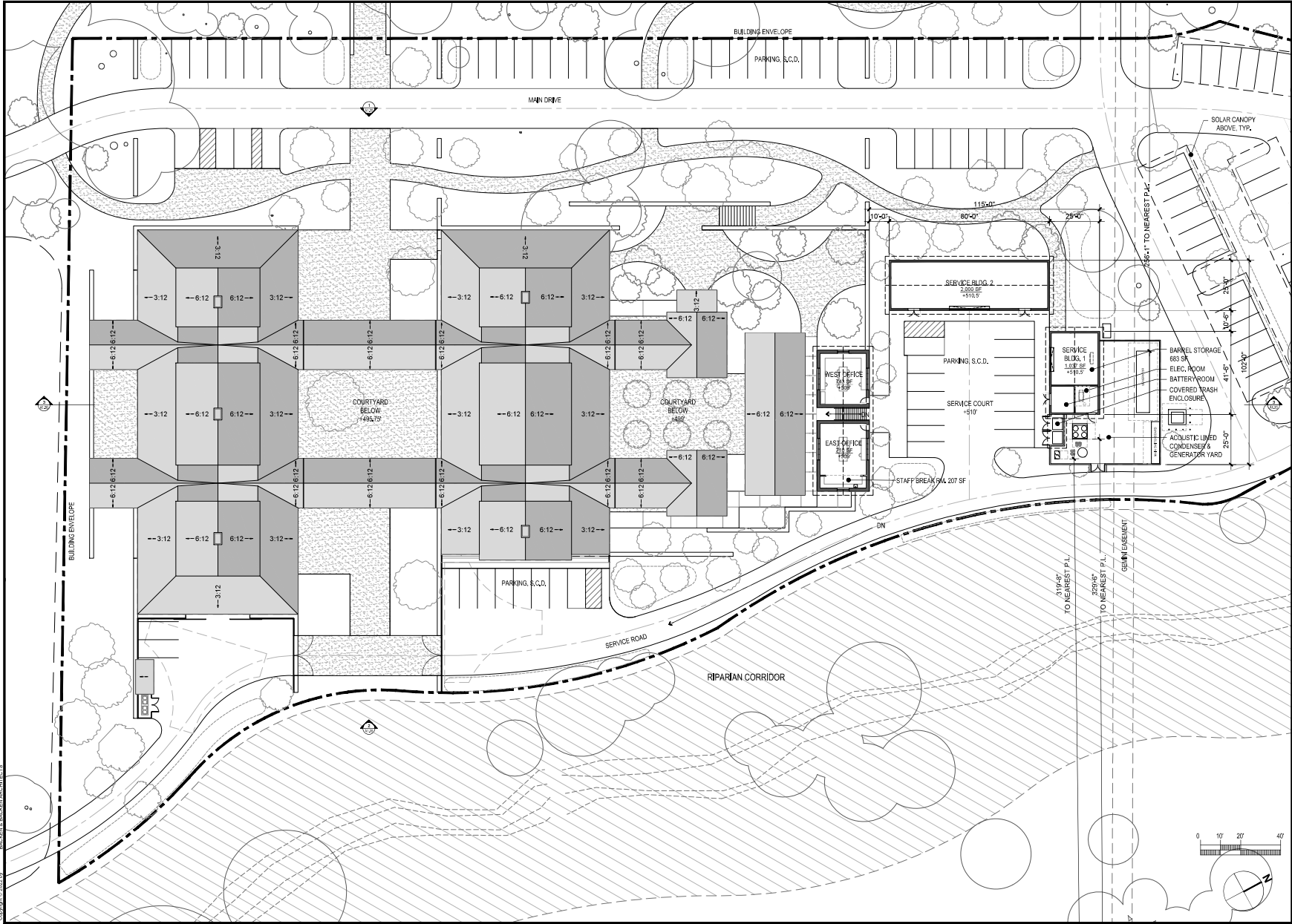
**SITE FLOOR PLAN**  
**MAIN**

1"=20'  
**A1.10**



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**THE KENWOOD RANCH WINERY**

1180 CAMPANA LANE  
 KENWOOD, CALIFORNIA 95028

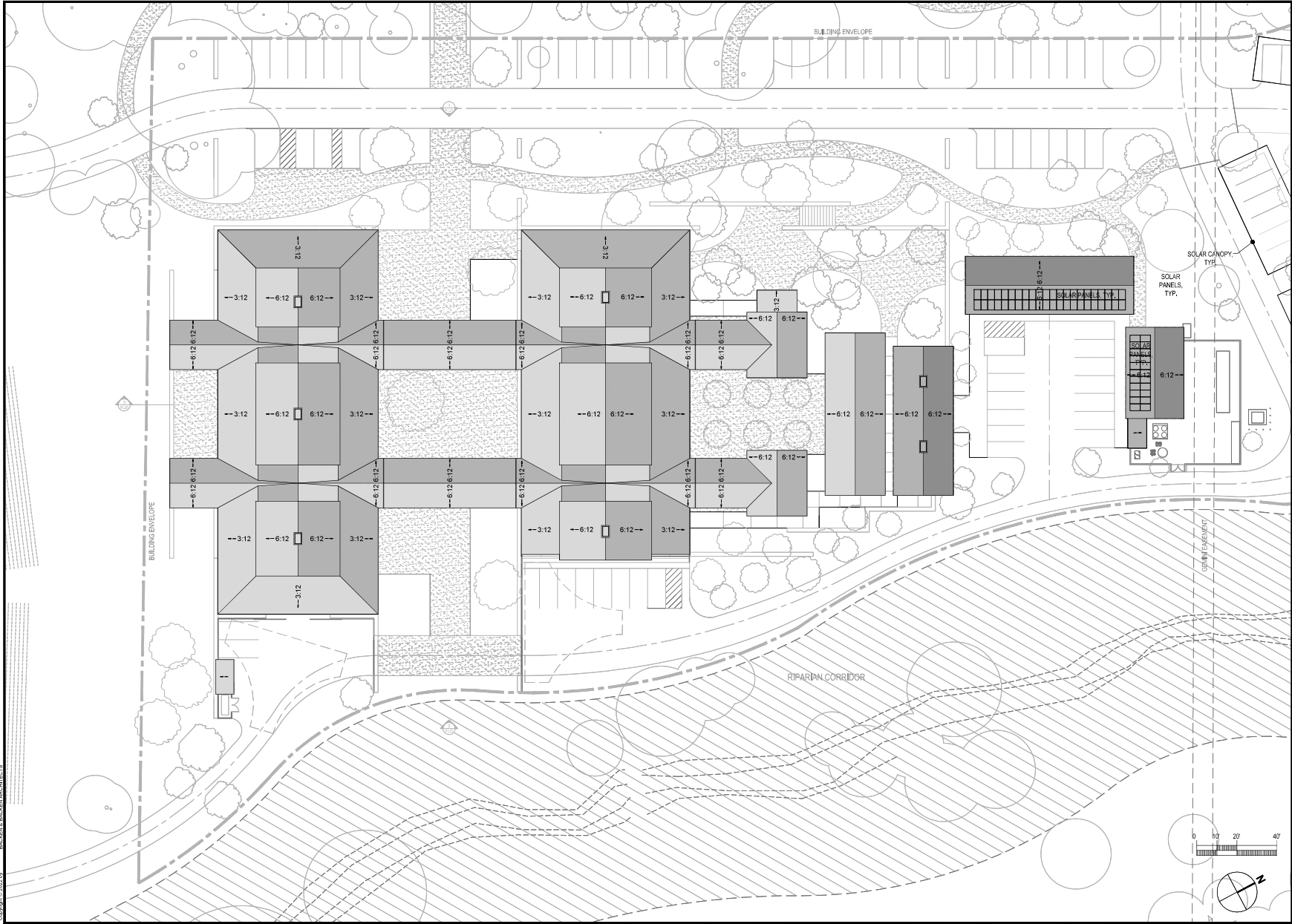
Rev. No.	Description	Date

For Date: 02/02/02  
 Drawn By: JWB  
 Checked By: JWB  
 Project No.: 200104  
 Date: 02/02/02  
 Issue: 02/02/02

**SITE FLOOR PLAN UPPER**

1"=20'

**A1.11**



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**THE KENWOOD RANCH WINERY**



For Date	6/24/23
Drawn By	CS/ML
Checked By	CS/ML
Project No.	23014
Date	6/24/23
Issue	ISSUE FOR PERMIT
Scale	AS SHOWN

**SITE ROOF PLAN**

1"=20'  
**A1.12**

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**THE KENWOOD RANCH WINERY**  
1180 COMPAGNA LANE  
KENWOOD, CALIFORNIA 94946

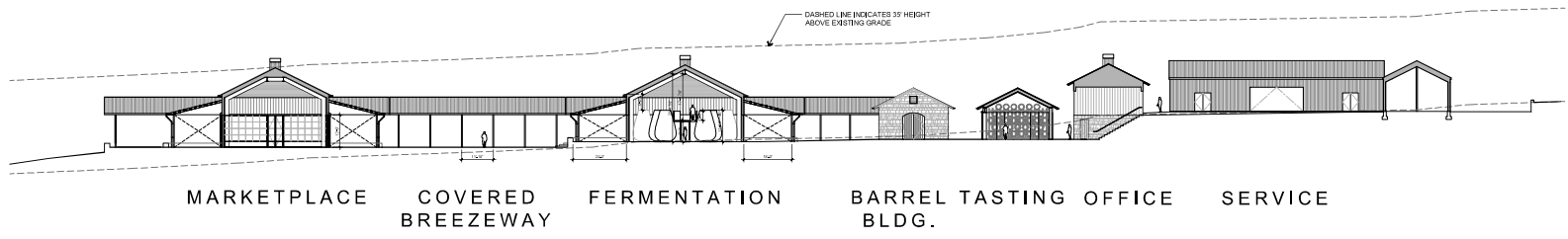


For Date	02/20/20
Drawn By	CB
Checked By	CB
Project No.	220143
Date	02/20/20
Issue	01
Issue	02
Issue	03
Issue	04
Issue	05
Issue	06
Issue	07
Issue	08
Issue	09
Issue	10
Issue	11
Issue	12
Issue	13
Issue	14
Issue	15
Issue	16
Issue	17
Issue	18
Issue	19
Issue	20
Issue	21
Issue	22
Issue	23
Issue	24
Issue	25
Issue	26
Issue	27
Issue	28
Issue	29
Issue	30

**SITE ELEVATIONS & SECTIONS**

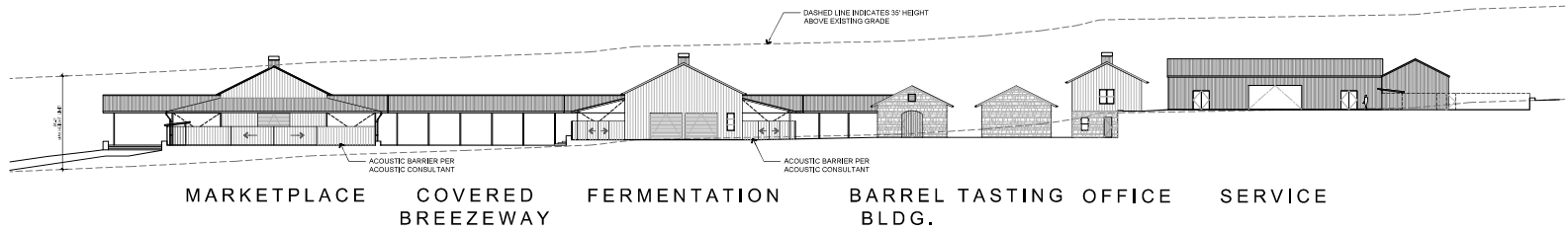
1"=20'

**A1.20**



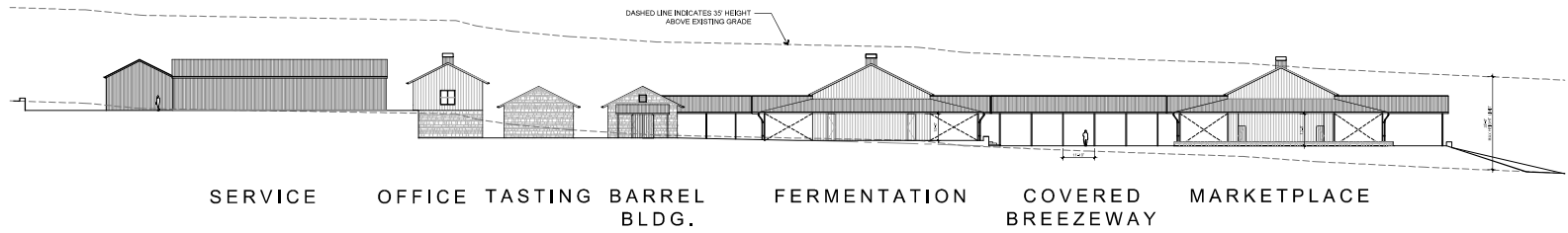
3 SITE SECTION - FACING WEST  
A1.20

SCALE: 1" = 20'-0"



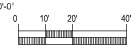
2 SITE ELEVATION - EAST  
A1.20

SCALE: 1" = 20'-0"

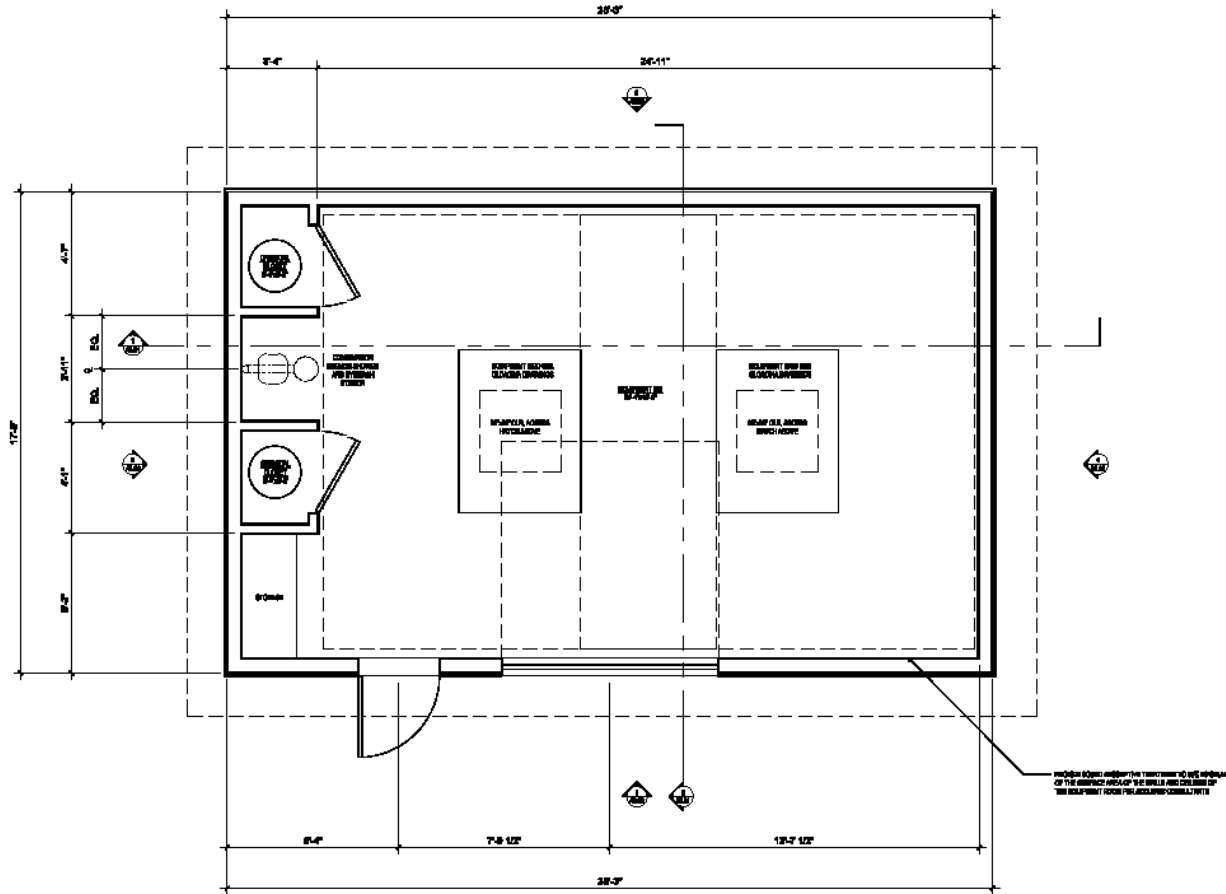


1 SITE ELEVATION - WEST  
A1.20

SCALE: 1" = 20'-0"



This document and the project of Plans 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.



ARCHITECTURAL LANSING, INC.  
1180 CAMPBELL AVE  
REDWOOD, CALIFORNIA 96088  
TEL: 707/873-1234  
WWW.ALSINC.COM

THE KENWOOD RANCH  
WINERY  
1180 CAMPBELL AVE  
REDWOOD, CALIFORNIA 96088



File No.	2023-001
Drawn By	JL
Checked By	JL
Project No.	2023-001
Date	11/10/23
CAD FILE	2023-001.DWG
SCALE	AS SHOWN

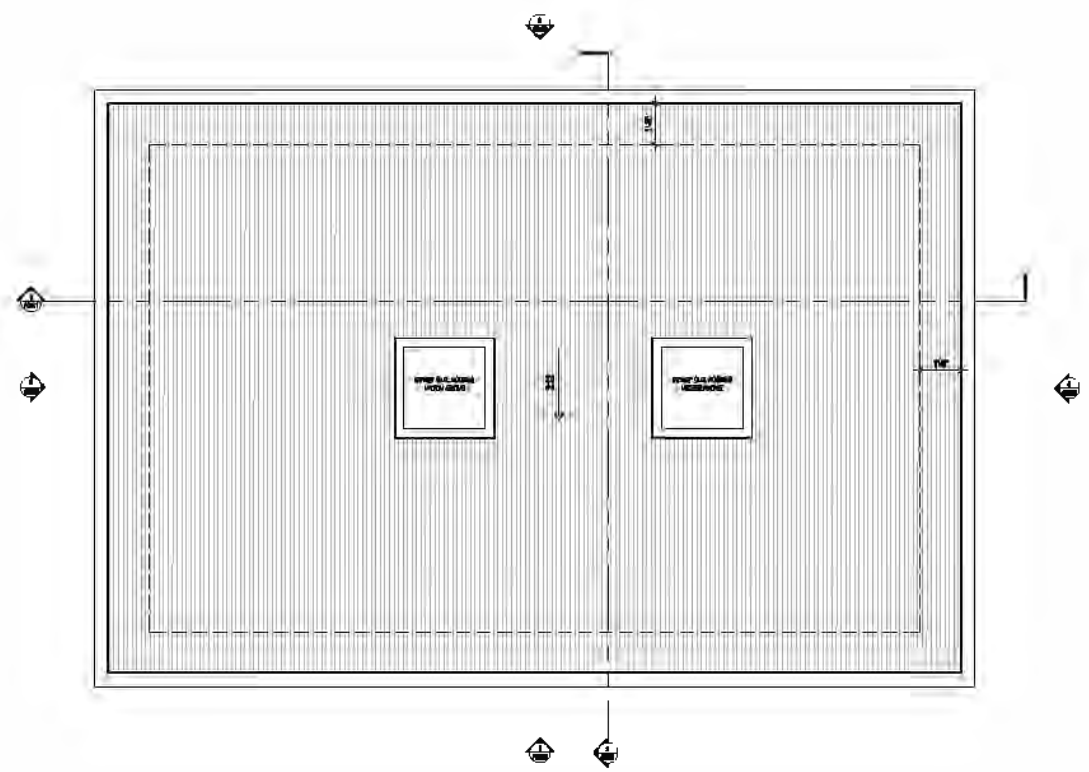
WINERY  
WASTEWATER  
SHED  
FLOOR PLAN

1/8"=1'-0"

A2.90



DATE: 12/15/12



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 (415) 435-0000

THE KENWOOD RANCH  
 WINERY  
 1180 CAMPBELL AVE  
 REDWOOD CITY, CALIFORNIA 94061



Project Name	Winery Wastewater Shed
Client Name	Kenwood Ranch Winery
Project No.	12001
Date	12/15/12
Scale	AS SHOWN
Author	J. Backen
Checker	J. Backen
Reviewer	J. Backen
Approver	J. Backen

**WINERY  
 WASTEWATER  
 SHED  
 ROOF PLAN**

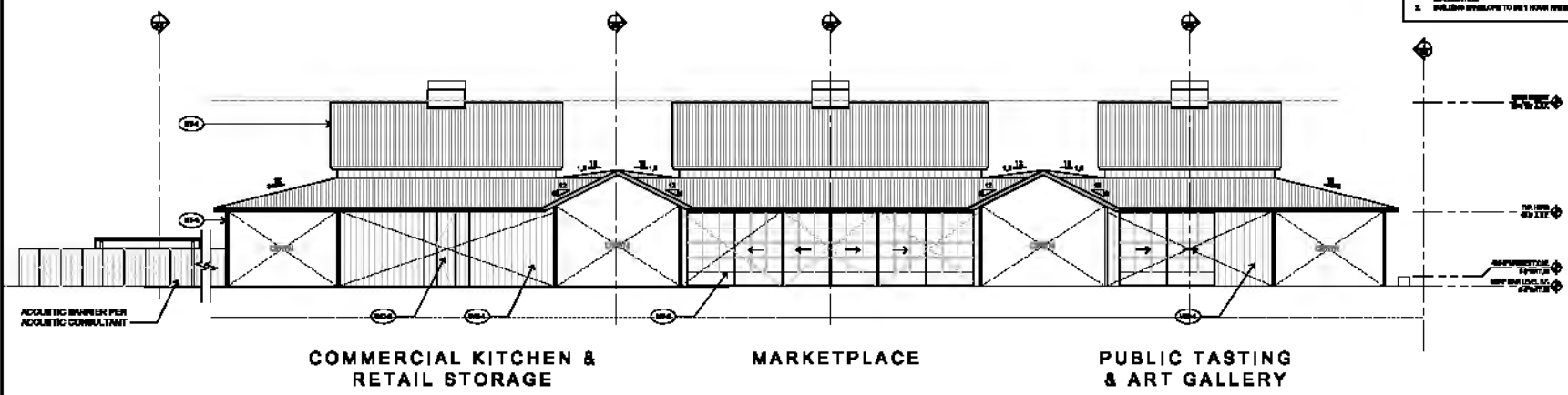
12/15/12  
**A2.91**



**MATERIAL KEY:**

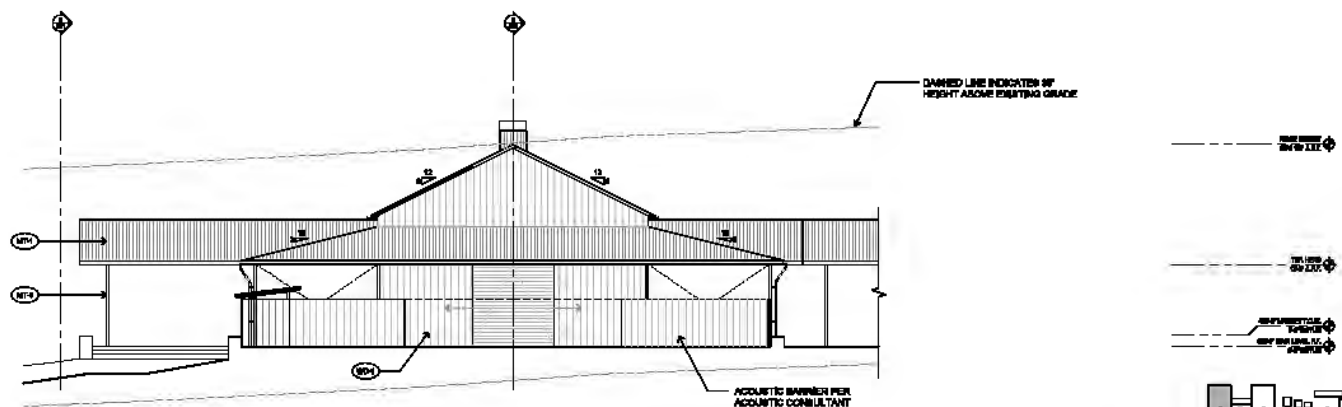
MT1 2"X4 COMBUSTIBLE METAL ROOFING  
 MT2 METAL WINDOWS AND DOORS  
 MT3 2"X4 SPAN CEILING  
 MT4 2"X4 COMBUSTIBLE METAL SIDING  
 WT4 2"X4 SPAN WOOD  
 WD1 JOINED WEATHERWOOD SIDING  
 WD4 SCREWED WOOD PLANK DOORS

WATER  
 1. 2"X4 METAL BANDS PER ADDITIONAL INFORMATION  
 2. BALLBEAM ENVELOPE TO MEET HAZARD RISK



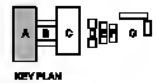
2 MARKETPLACE - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



1 MARKETPLACE - EAST ELEVATION

SCALE: 1/8" = 1'-0"



BACKINABACKLN  
 1180 CAMPBELL AVE  
 REDWOOD, CALIFORNIA 96074  
 TEL: (707) 453-1111  
 FAX: (707) 453-1112  
 WWW.BACKINABACKLN.COM

THE KENWOOD RANCH  
 WINERY  
 1180 CAMPBELL AVE  
 REDWOOD, CALIFORNIA 96074



File No.	1180
Client	THE KENWOOD RANCH WINERY
Project No.	1180
Date	08/20/2014
Scale	AS SHOWN
Drawn By	ARCHITECT
Checked By	ARCHITECT
Project Manager	ARCHITECT

ELEVATIONS  
 MARKETPLACE

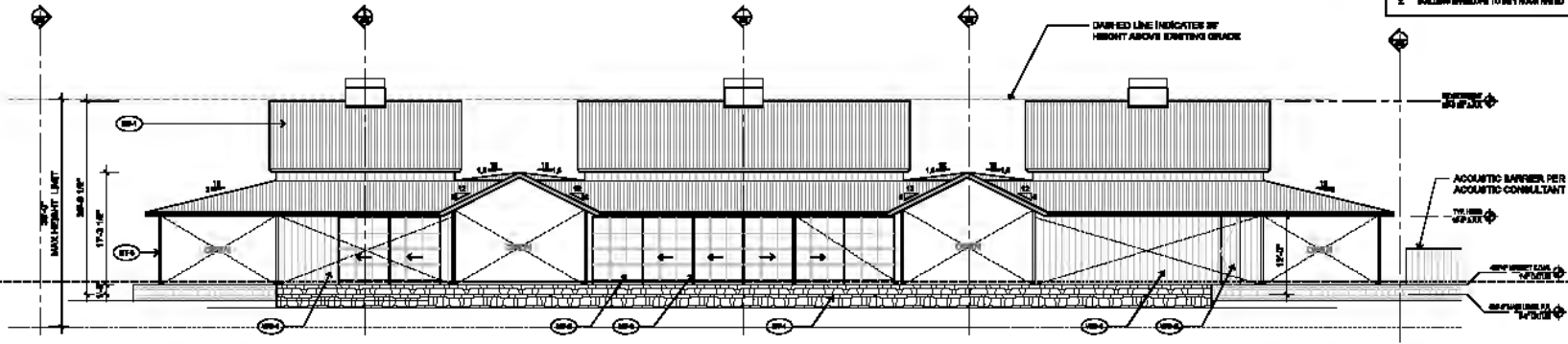
1/8" = 1'-0"

A3.10

COMPUTED BY: ARCHITECT

**MATERIAL KEY:**

MF1	2"X4 COMBUSTIBLE METAL ROOFING
MF2	2"X6 INSIDE BRACES AND DOORS
MF3	STEEL COLLAR
MF4	2"X4 COMBUSTIBLE METAL SIDING
MF5	BRICK VENEER
MF6	INSULATED VINYL SIDING
MF7	SCREWED WOOD PLANK SIDING
<b>WATER</b>	
1.	1/2" METALLIC RUBBER PER ACQUANTIA
2.	DRAINAGE CHANNEL TO 1/2" HOLE IN DECK



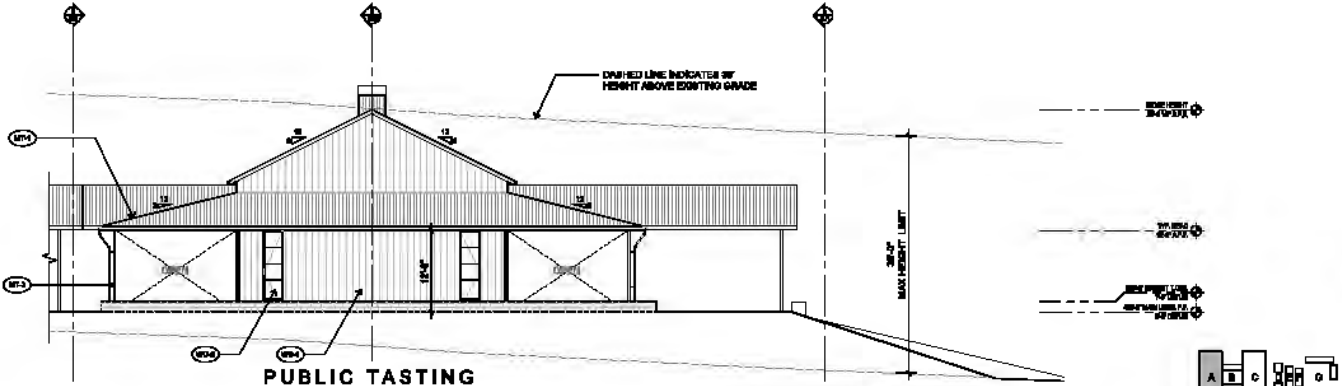
**PUBLIC TASTING & ART GALLERY**

**MARKETPLACE**

**COMMERCIAL KITCHEN & RETAIL STORAGE**

② MARKETPLACE - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



**PUBLIC TASTING & ART GALLERY**

① MARKETPLACE - WEST ELEVATION

SCALE: 1/8" = 1'-0"

BACK IN A BACK IN

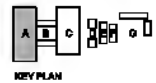
THE KENWOOD RANCH WINERY

1180 GARDENHILL LANE  
KENWOOD, CALIFORNIA 94946



File No.	0111
Drawn by	JC
Checked by	CS
Project No.	0111
Date	01/11/11
Scale	AS SHOWN
Client	THE KENWOOD RANCH WINERY
Address	1180 GARDENHILL LANE
City	KENWOOD, CALIF. 94946
Architect	BACK IN A BACK IN ARCHITECTS
Address	1180 GARDENHILL LANE
City	KENWOOD, CALIF. 94946
Phone	(707) 428-1111
Fax	(707) 428-1111
Website	www.backinabackin.com

ELEVATIONS  
MARKETPLACE

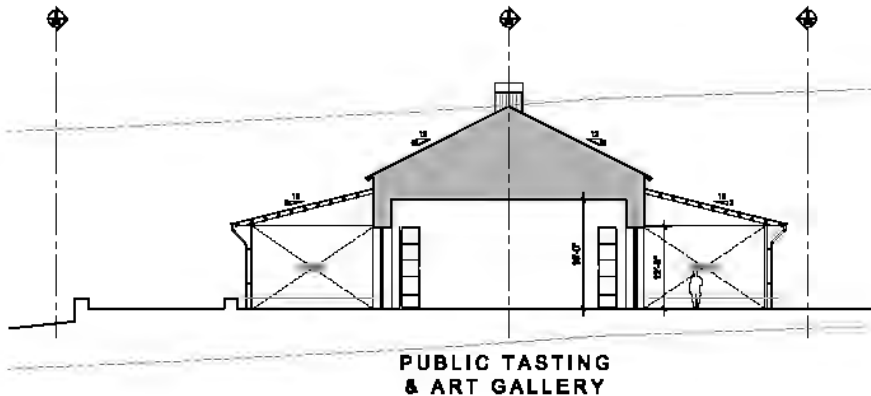


1/8"=1'-0"

**A3.11**







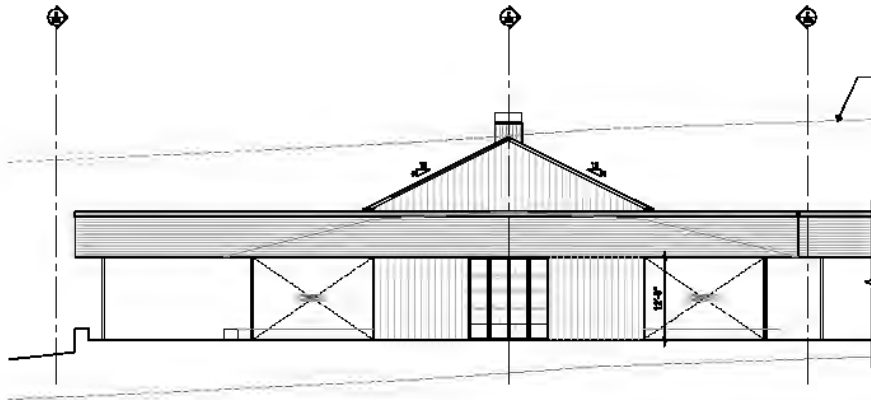
PUBLIC TASTING  
& ART GALLERY

**2** MARKETPLACE SECTION  
S.E.I.13

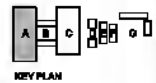
- MATERIAL KEY:**
- MFC 4 2"x4" COMBRIANATED METAL ROOFING
  - MFC 20 BETA INSURING AND CEILING
  - MFC 20FC STEEL CEILING
  - MFC 10 2"x4" COMBRIANATED METAL SIDING
  - MFC 16 BRICK VENEER
  - MFC 1 FIBERGLASS INSULATION
  - MFC 2 GYPSUM BOARD WALL
  - MFC 100 1/2" SCHEDULE 40 STEEL COLUMN
  - MFC 200 1/2" SCHEDULE 40 STEEL BEAM
  - MFC 20 2"x4" SCHEDULE 40 STEEL TRUSS
  - MFC 200 1/2" SCHEDULE 40 STEEL PURLIN
  - MFC 20 1/2" SCHEDULE 40 STEEL BRACKET
  - MFC 20 1/2" SCHEDULE 40 STEEL PLATE
- NOTES:**
1. SEE METRICAL NUMBER FOR ADDITIONAL DIMENSIONS
  2. HALLWAY ENVELOPE TO BE 1' CLEAR FREE



SCALE: 1/8" = 1'-0"



DASHED LINE INDICATES OF HEIGHT ABOVE EXISTING GRADE



**1** MARKETPLACE SECTION  
S.E.I.13

SCALE: 1/8" = 1'-0"

THE ARCHITECTS

**BACKINABACKIN**

ARCHITECTS

1115 GARDENWAY DRIVE  
REDMOOD, CALIFORNIA 94068

**THE KENWOOD RANCH WINERY**

1180 GARDENWAY DRIVE  
REDMOOD, CALIFORNIA 94068



Project Name	THE KENWOOD RANCH WINERY
Client	THE KENWOOD RANCH WINERY
Location	1180 GARDENWAY DRIVE, REDMOOD, CALIFORNIA 94068
Phase	CONSTRUCTION
Scale	1/8" = 1'-0"

**SECTIONS  
MARKETPLACE**

1/8" = 1'-0"

**A3.13**

**MATERIAL KEY:**

- MFC1 2"x4" COMBUSTIBLE METAL ROOFING
- MFC2 2"x6" INSULATED METAL ROOFING
- MFC3 2"x4" COMBUSTIBLE METAL ROOFING
- MFC4 2"x6" INSULATED METAL ROOFING
- MFC5 2"x4" COMBUSTIBLE METAL ROOFING
- MFC6 2"x6" INSULATED METAL ROOFING
- MFC7 2"x4" COMBUSTIBLE METAL ROOFING
- MFC8 2"x6" INSULATED METAL ROOFING
- MFC9 2"x4" COMBUSTIBLE METAL ROOFING
- MFC10 2"x6" INSULATED METAL ROOFING
- MFC11 2"x4" COMBUSTIBLE METAL ROOFING
- MFC12 2"x6" INSULATED METAL ROOFING
- MFC13 2"x4" COMBUSTIBLE METAL ROOFING
- MFC14 2"x6" INSULATED METAL ROOFING
- MFC15 2"x4" COMBUSTIBLE METAL ROOFING
- MFC16 2"x6" INSULATED METAL ROOFING
- MFC17 2"x4" COMBUSTIBLE METAL ROOFING
- MFC18 2"x6" INSULATED METAL ROOFING
- MFC19 2"x4" COMBUSTIBLE METAL ROOFING
- MFC20 2"x6" INSULATED METAL ROOFING
- MFC21 2"x4" COMBUSTIBLE METAL ROOFING
- MFC22 2"x6" INSULATED METAL ROOFING
- MFC23 2"x4" COMBUSTIBLE METAL ROOFING
- MFC24 2"x6" INSULATED METAL ROOFING
- MFC25 2"x4" COMBUSTIBLE METAL ROOFING
- MFC26 2"x6" INSULATED METAL ROOFING
- MFC27 2"x4" COMBUSTIBLE METAL ROOFING
- MFC28 2"x6" INSULATED METAL ROOFING
- MFC29 2"x4" COMBUSTIBLE METAL ROOFING
- MFC30 2"x6" INSULATED METAL ROOFING
- MFC31 2"x4" COMBUSTIBLE METAL ROOFING
- MFC32 2"x6" INSULATED METAL ROOFING
- MFC33 2"x4" COMBUSTIBLE METAL ROOFING
- MFC34 2"x6" INSULATED METAL ROOFING
- MFC35 2"x4" COMBUSTIBLE METAL ROOFING
- MFC36 2"x6" INSULATED METAL ROOFING
- MFC37 2"x4" COMBUSTIBLE METAL ROOFING
- MFC38 2"x6" INSULATED METAL ROOFING
- MFC39 2"x4" COMBUSTIBLE METAL ROOFING
- MFC40 2"x6" INSULATED METAL ROOFING
- MFC41 2"x4" COMBUSTIBLE METAL ROOFING
- MFC42 2"x6" INSULATED METAL ROOFING
- MFC43 2"x4" COMBUSTIBLE METAL ROOFING
- MFC44 2"x6" INSULATED METAL ROOFING
- MFC45 2"x4" COMBUSTIBLE METAL ROOFING
- MFC46 2"x6" INSULATED METAL ROOFING
- MFC47 2"x4" COMBUSTIBLE METAL ROOFING
- MFC48 2"x6" INSULATED METAL ROOFING
- MFC49 2"x4" COMBUSTIBLE METAL ROOFING
- MFC50 2"x6" INSULATED METAL ROOFING
- MFC51 2"x4" COMBUSTIBLE METAL ROOFING
- MFC52 2"x6" INSULATED METAL ROOFING
- MFC53 2"x4" COMBUSTIBLE METAL ROOFING
- MFC54 2"x6" INSULATED METAL ROOFING
- MFC55 2"x4" COMBUSTIBLE METAL ROOFING
- MFC56 2"x6" INSULATED METAL ROOFING
- MFC57 2"x4" COMBUSTIBLE METAL ROOFING
- MFC58 2"x6" INSULATED METAL ROOFING
- MFC59 2"x4" COMBUSTIBLE METAL ROOFING
- MFC60 2"x6" INSULATED METAL ROOFING
- MFC61 2"x4" COMBUSTIBLE METAL ROOFING
- MFC62 2"x6" INSULATED METAL ROOFING
- MFC63 2"x4" COMBUSTIBLE METAL ROOFING
- MFC64 2"x6" INSULATED METAL ROOFING
- MFC65 2"x4" COMBUSTIBLE METAL ROOFING
- MFC66 2"x6" INSULATED METAL ROOFING
- MFC67 2"x4" COMBUSTIBLE METAL ROOFING
- MFC68 2"x6" INSULATED METAL ROOFING
- MFC69 2"x4" COMBUSTIBLE METAL ROOFING
- MFC70 2"x6" INSULATED METAL ROOFING
- MFC71 2"x4" COMBUSTIBLE METAL ROOFING
- MFC72 2"x6" INSULATED METAL ROOFING
- MFC73 2"x4" COMBUSTIBLE METAL ROOFING
- MFC74 2"x6" INSULATED METAL ROOFING
- MFC75 2"x4" COMBUSTIBLE METAL ROOFING
- MFC76 2"x6" INSULATED METAL ROOFING
- MFC77 2"x4" COMBUSTIBLE METAL ROOFING
- MFC78 2"x6" INSULATED METAL ROOFING
- MFC79 2"x4" COMBUSTIBLE METAL ROOFING
- MFC80 2"x6" INSULATED METAL ROOFING
- MFC81 2"x4" COMBUSTIBLE METAL ROOFING
- MFC82 2"x6" INSULATED METAL ROOFING
- MFC83 2"x4" COMBUSTIBLE METAL ROOFING
- MFC84 2"x6" INSULATED METAL ROOFING
- MFC85 2"x4" COMBUSTIBLE METAL ROOFING
- MFC86 2"x6" INSULATED METAL ROOFING
- MFC87 2"x4" COMBUSTIBLE METAL ROOFING
- MFC88 2"x6" INSULATED METAL ROOFING
- MFC89 2"x4" COMBUSTIBLE METAL ROOFING
- MFC90 2"x6" INSULATED METAL ROOFING
- MFC91 2"x4" COMBUSTIBLE METAL ROOFING
- MFC92 2"x6" INSULATED METAL ROOFING
- MFC93 2"x4" COMBUSTIBLE METAL ROOFING
- MFC94 2"x6" INSULATED METAL ROOFING
- MFC95 2"x4" COMBUSTIBLE METAL ROOFING
- MFC96 2"x6" INSULATED METAL ROOFING
- MFC97 2"x4" COMBUSTIBLE METAL ROOFING
- MFC98 2"x6" INSULATED METAL ROOFING
- MFC99 2"x4" COMBUSTIBLE METAL ROOFING
- MFC100 2"x6" INSULATED METAL ROOFING

NOTES:  
 1. SEE MATERIAL SAMPLES FOR ADDITIONAL INFORMATION.  
 2. WALLS TO ENVELOPE TO BE 1/2" CLEAR FINISH.

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THE KENWOOD RANCH  
 WINERY  
 1100 CAMPBELL AVENUE  
 REDWOOD CITY, CALIFORNIA 94063

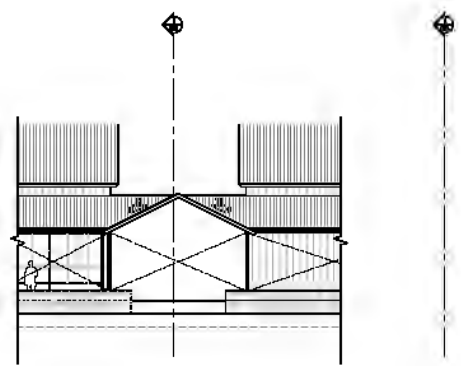


Project No.	201802
Client Name	THE KENWOOD RANCH
Architect	BACKJIN A. BACKEN
Project No.	201802
Date	08/20/18
Scale	1/8" = 1'-0"
Sheet	A3.14
Notes	

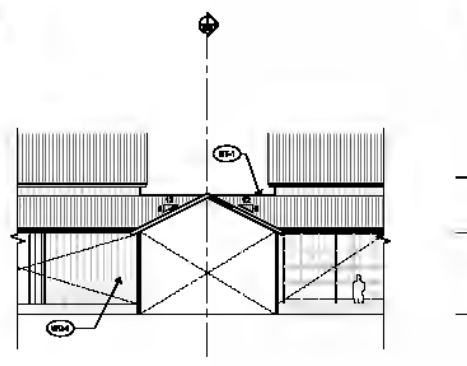
ELEVATIONS  
 COVERED  
 BREEZEWAY  
 EAST

SCALE: 1/8" = 1'-0"

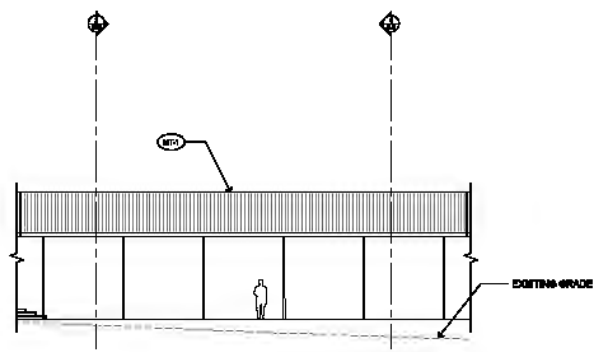
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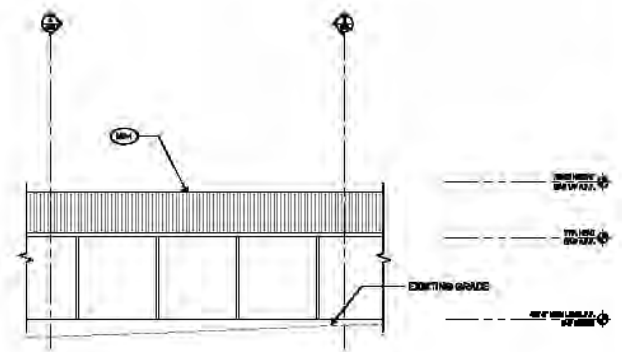
4 COVERED BREEZEWAY EAST - SOUTH ELEVATION SCALE: 1/8" = 1'-0"



2 COVERED BREEZEWAY EAST - NORTH ELEVATION SCALE: 1/8" = 1'-0"



3 COVERED BREEZEWAY EAST - WEST ELEVATION SCALE: 1/8" = 1'-0"



1 COVERED BREEZEWAY EAST - EAST ELEVATION SCALE: 1/8" = 1'-0"



KEY PLAN

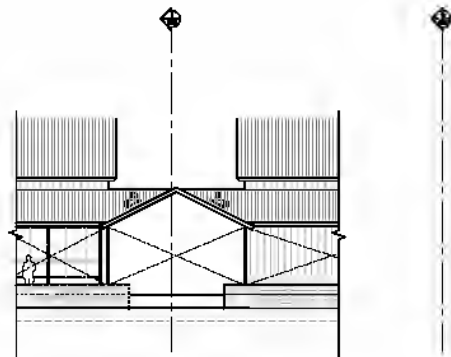
COURTESY: BACKEN ARCHITECTS

**MATERIAL KEY:**

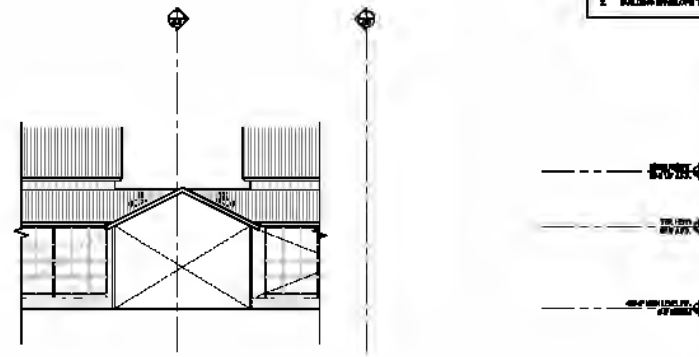
- ME-1 2"X4 COMBUSTIBLE METAL ROOFING
- ME-2 2"X4 INSULATED METAL ROOFING AND CEILING
- ME-3 2"X4 METAL CEILING
- ME-4 2"X4 COMBUSTIBLE METAL SIDING
- ME-5 2"X4 BRICK VENEER
- ME-6 1"X6 INSULATED METAL WALL
- ME-7 1"X6 COMBUSTIBLE METAL WALL
- ME-8 2"X4 BRICK VENEER

**WATER**

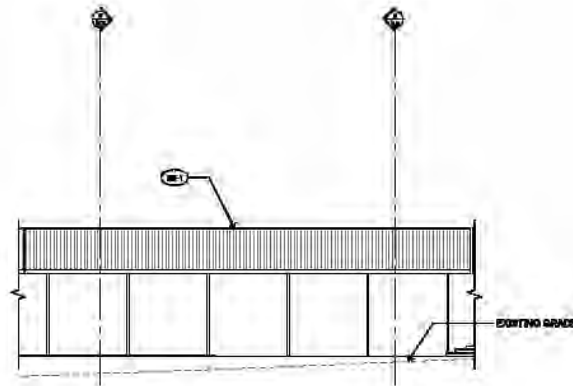
- 1. 1/2" METALLIC BRASSER FILL/ADDITIONAL BRICK VENEER
- 2. 3/4" BRICK VENEER TO MEET NEAR FIBER



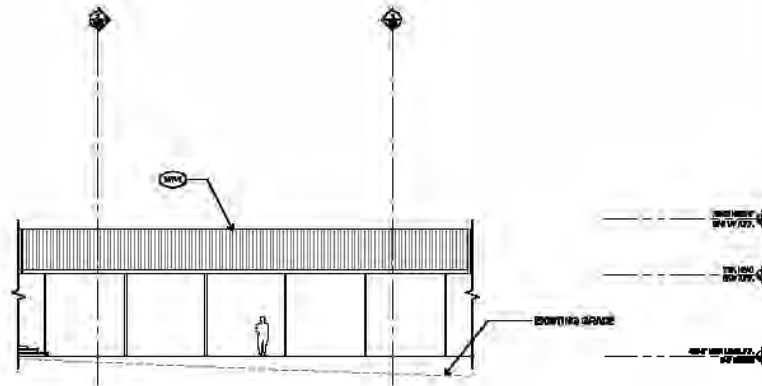
4 COVERED BREEZEWAY WEST - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 COVERED BREEZEWAY WEST - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 COVERED BREEZEWAY WEST - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



1 COVERED BREEZEWAY WEST - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



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WINERY  
1100 CAMPBELL AVE.  
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Project Name	WINERY
Client	BY THE WAY
Architect	BACKJIN A. BARKIN
Scale	1/8" = 1'-0"
Date	05/21/2011
Drawn by	BACKJIN A. BARKIN
Checked by	BACKJIN A. BARKIN
Project No.	000001
Sheet No.	000001
Sheet Title	ELEVATIONS

ELEVATIONS  
COVERED  
BREEZEWAY  
WEST  
SCALE: 1/8" = 1'-0"

A3.15

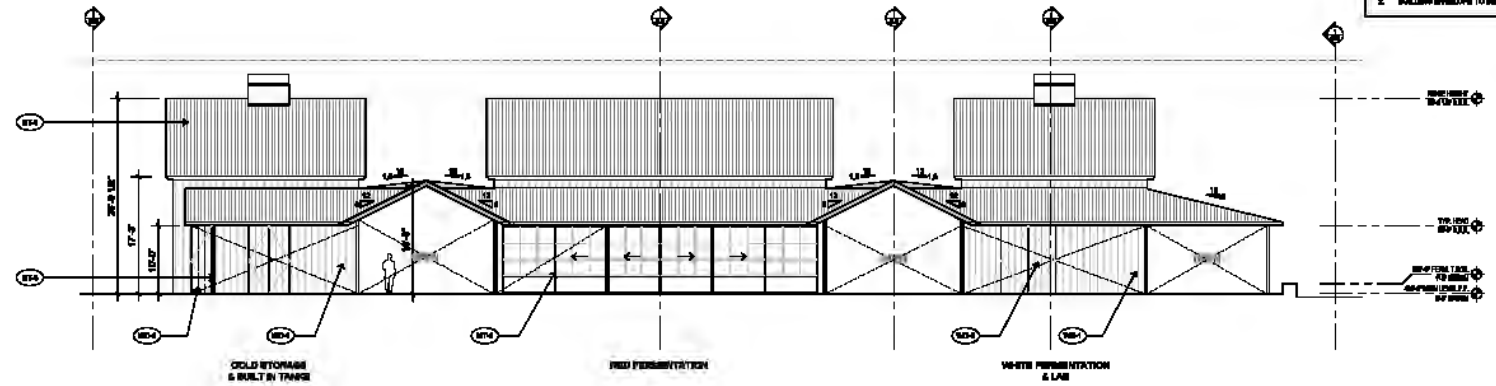


**MATERIAL KEY:**

MF-1 2"X4 COMBUSTIBLE METAL ROOFING  
 MFC-1 METAL SIDING AND CEILING  
 MFC-2 STEEL DECKING  
 MFC-3 2"X4 COMBUSTIBLE METAL SIDING  
 MFC-4 2"X4 COMBUSTIBLE METAL SIDING  
 MFC-5 BRICK VENEER  
 MFC-6 FINISHED WOOD FLOOR  
 MFC-7 SCHEDULE 40 STEEL COLUMN  
 MFC-8 SCHEDULE 40 STEEL BEAM  
 MFC-9 SCHEDULE 40 STEEL JOIST

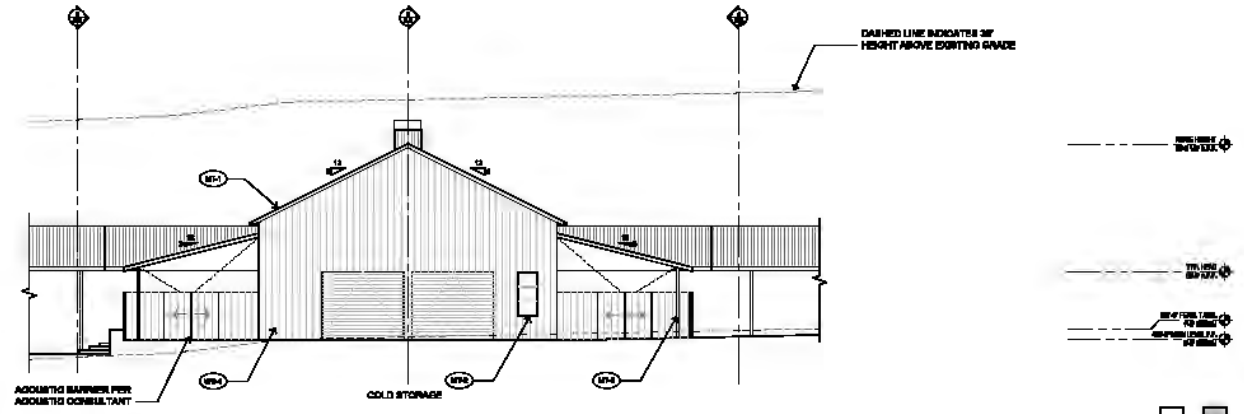
**WATER**

1. SET MATERIAL NUMBER PER ADDITIONAL SPECIFICATION  
 2. DASHED LINE ENVELOPE TO SET 1 NEAR FEED



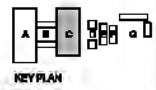
2 FERMENTATION - NORTH ELEVATION

SCALE: 1/8" = 1'-0"



1 FERMENTATION - EAST ELEVATION

SCALE: 1/8" = 1'-0"



BACKINABA BAKEN  
 1100 CAMPBELL LANE  
 REDWOOD, CALIFORNIA 94069

THE KENWOOD RANCH  
 WINERY  
 1100 CAMPBELL LANE  
 REDWOOD, CALIFORNIA 94069



Project No.	1100
Client	THE KENWOOD RANCH WINERY
Architect	BACKINABA BAKEN
Scale	1/8" = 1'-0"
Date	11/20/11
Drawn by	ARCHITECT
Checked by	ARCHITECT
Project No.	1100
Scale	1/8" = 1'-0"
Date	11/20/11
Drawn by	ARCHITECT
Checked by	ARCHITECT

ELEVATIONS  
 FERMENTATION

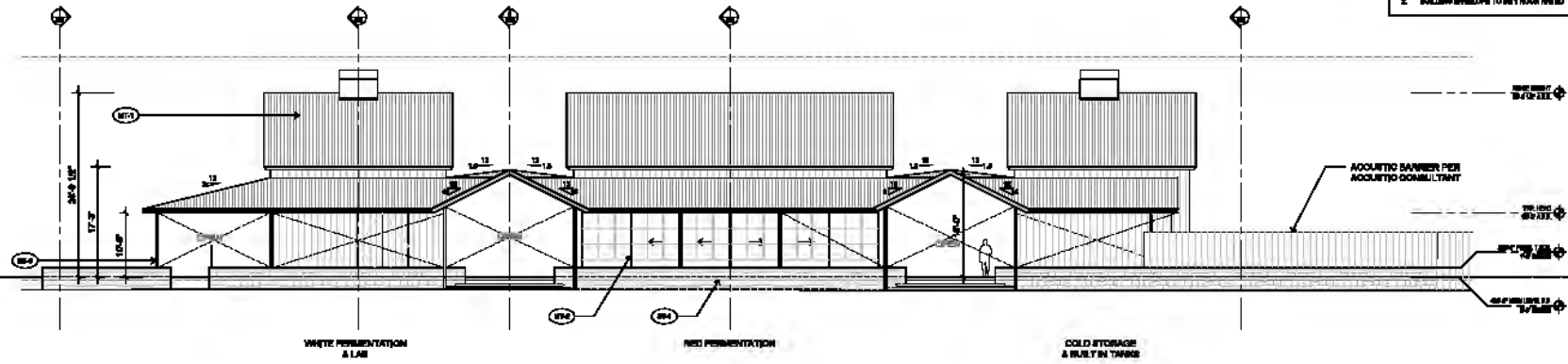
1/8" = 1'-0"  
**A3.20**

**MATERIAL KEY:**

- M14 20F CORRUGATED METAL ROOFING
- M12 BETA SIDINGS AND DOORS
- M13 STEEL COLIUM
- M14 20F CORRUGATED METAL SIDING
- M14 SPOKE SIDING
- M14 JOINED WOOD/SLIDING SIDING
- M14 SPOKE SIDING
- M14 JOINED WOOD/SLIDING SIDING
- M14 SPOKE SIDING

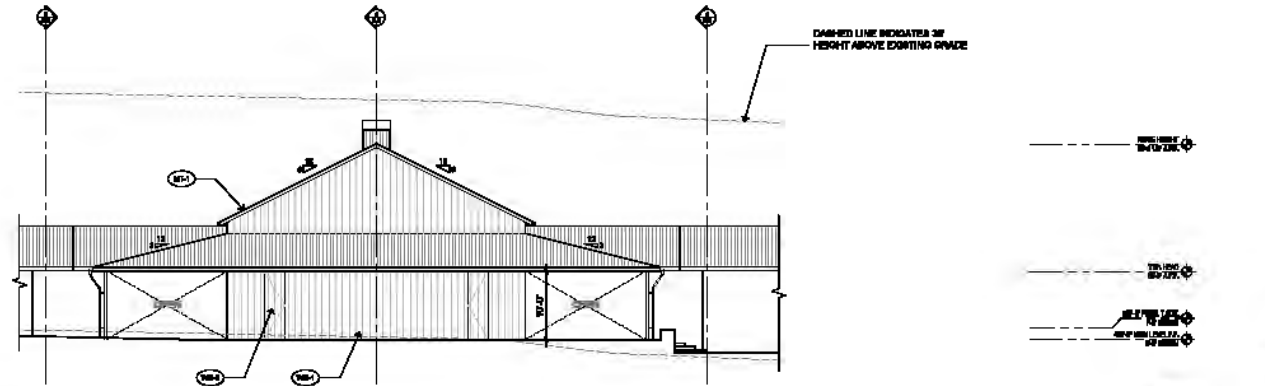
**WATER**

- 1. SET METAL BANDS PER ADOPTED SPECIFICATION
- 2. BULLPEN ENVELOPE TO SET IN RISE



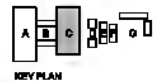
2 FERMENTATION - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



1 FERMENTATION - WEST ELEVATION

SCALE: 1/8" = 1'-0"



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THE KENWOOD RANCH  
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 REDWOOD, CALIFORNIA 96074



File No.	10000
Drawn By	MB
Checked By	MB
Project No.	10000
Date	10/10/10
Scale	AS SHOWN
Client	THE KENWOOD RANCH
Architect	BACKLIN & BACKLIN

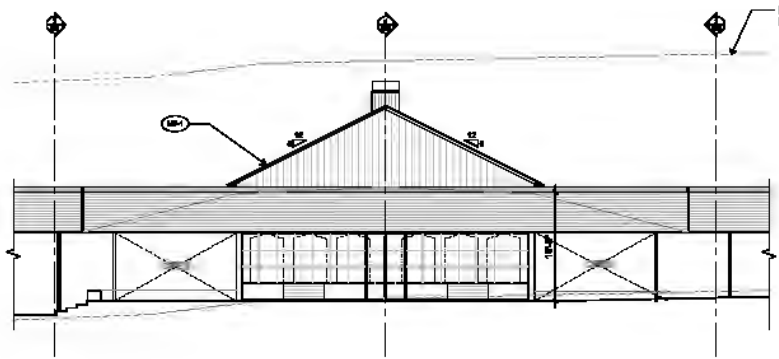
ELEVATIONS  
 FERMENTATION

1/8" = 1'-0"

A3.21

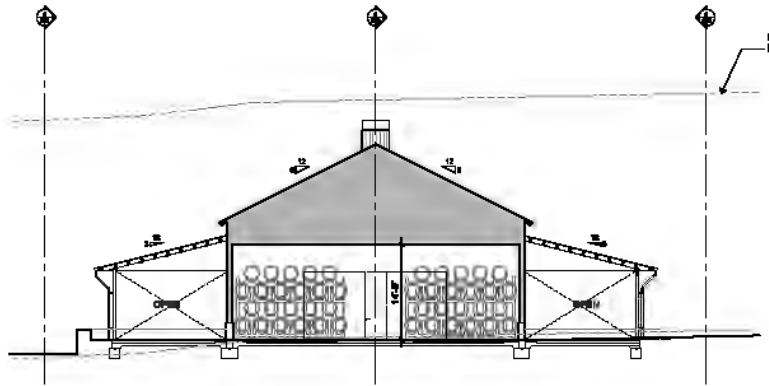
**MATERIAL KEY:**

MET 4 20F CORROSITIVE METAL ROOFING  
 METC 18F INSULATED METAL ROOFING AND CEILING  
 METD 20F STEEL DECKING  
 METH 20F CORROSITIVE METAL SIDING  
 SFR 4 BRICK VENEER  
 HD 1 HARDWOOD DOOR  
 WLD 2 SLOVED WOOD PLANK CEILING  
 WYER  
 1. 180° METAL RAINSCREEN PANEL SYSTEM  
 2. 180° WYER ENVELOPE TO 180° RAIN SCREEN



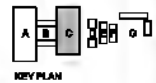
2 FERMENTATION - CROSS SECTION @ BREEZE WAY

SCALE: 1/8" = 1'-0"



1 FERMENTATION - CROSS SECTION @ RED FERMENTATION

SCALE: 1/8" = 1'-0"



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THE KENWOOD RANCH  
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 REDWOOD, CALIFORNIA 94063



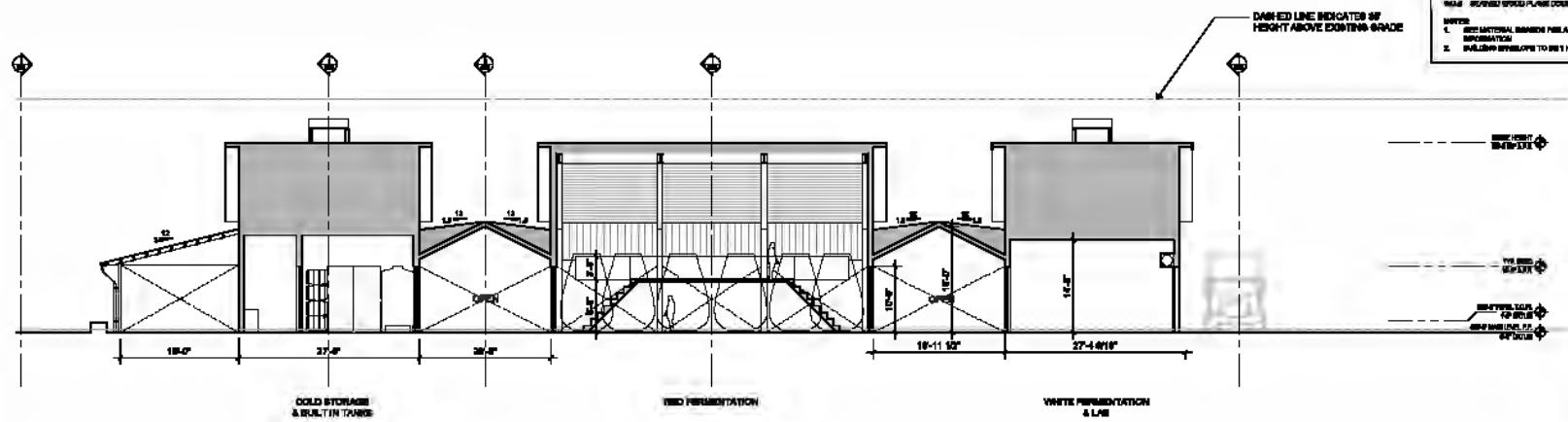
Project No.	1180
Client	THE KENWOOD RANCH WINERY
Architect	BACKIN & BACKIN
Scale	1/8" = 1'-0"
Date	10/20/11
Drawn by	ARCHITECT
Checked by	ARCHITECT
Project No.	1180
Scale	1/8" = 1'-0"
Date	10/20/11
Drawn by	ARCHITECT
Checked by	ARCHITECT

SECTIONS  
 FERMENTATION  
 1/8" = 1'-0"

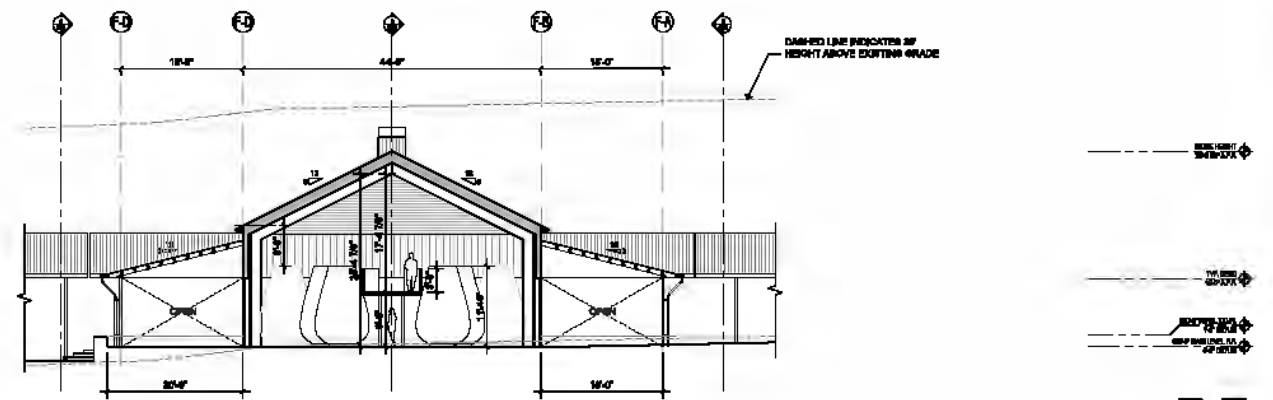
A3.22

**MATERIAL KEY:**

ME-1 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-2 2"X4 INSULATED METAL ROOFING  
 ME-3 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-4 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-5 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-6 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-7 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-8 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-9 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-10 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-11 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-12 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-13 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-14 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-15 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-16 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-17 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-18 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-19 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-20 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-21 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-22 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-23 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-24 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-25 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-26 2"X4 COMBUSTIBLE METAL ROOFING  
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 ME-29 2"X4 COMBUSTIBLE METAL ROOFING  
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 ME-31 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-32 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-33 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-34 2"X4 COMBUSTIBLE METAL ROOFING  
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 ME-90 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-91 2"X4 COMBUSTIBLE METAL ROOFING  
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 ME-94 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-95 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-96 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-97 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-98 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-99 2"X4 COMBUSTIBLE METAL ROOFING  
 ME-100 2"X4 COMBUSTIBLE METAL ROOFING



2 FERMENTATION - LONGITUDINAL SECTION



1 FERMENTATION - CROSS SECTION @ RED FERMENTATION

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 REDWOOD, CALIFORNIA 96074

THE KENWOOD RANCH WINERY



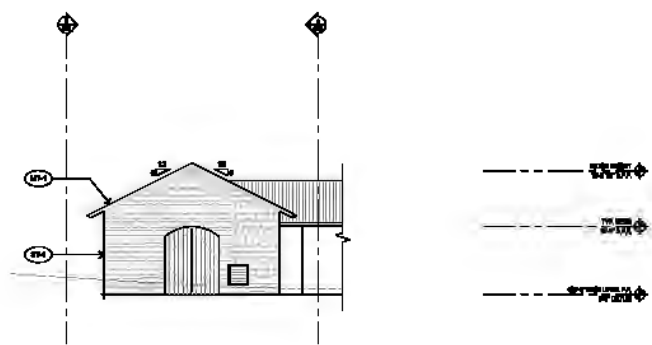
Project No.	1180
Client	THE KENWOOD RANCH WINERY
Architect	BACKJEN & BACKJEN
Date	11/11/11
Scale	1/8" = 1'-0"
Sheet No.	A3.23
Sheet Title	SECTION 1 - FERMENTATION - CROSS SECTION @ RED FERMENTATION

SECTIONS  
 FERMENTATION

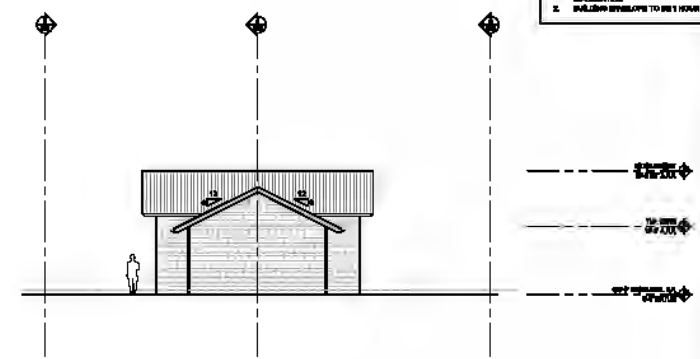
KEY PLAN

A3.23

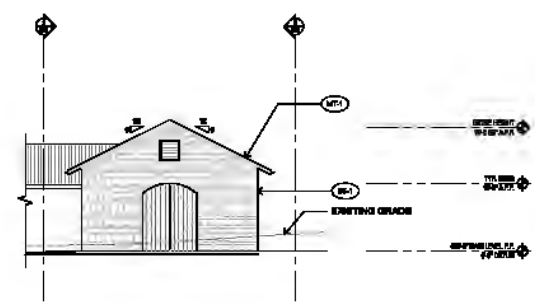




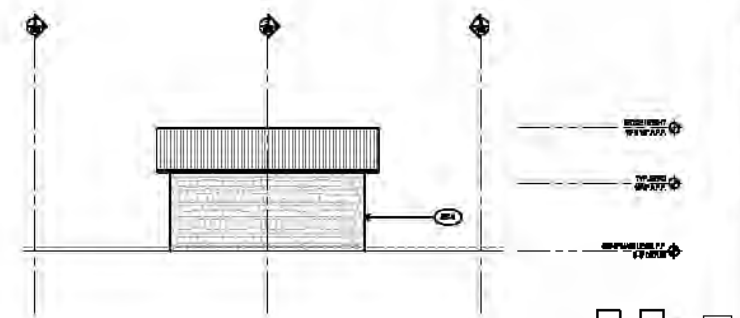
4 BARREL STORAGE EAST - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 BARREL STORAGE EAST - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 BARREL STORAGE EAST - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1 BARREL STORAGE EAST - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

**MATERIAL KEY:**

MT1 2"X4 COMBINATION METAL ROOFING  
 MT2 2"X4 INSIDE BRICKWORK AND COBBLE  
 MT3 2"X4 INSIDE COBBLE  
 MT4 2"X4 COMBINATION METAL BRICK  
 MT5 2"X4 BRICK VENEER  
 WD1 HORIZONTAL WOOD SLAT  
 WD2 SCREWED WOOD PLANK COBBLE

**NOTES:**

1. SEE MATERIAL SCHEDULE FOR ADDITIONAL SPECIFICATIONS  
 2. BALLTOP ENVELOPE TO BE 1 HOUR RATED

These drawings were prepared by the Architect under contract to the Client. The Client is responsible for the accuracy of the information provided to the Architect. The Architect is not responsible for the accuracy of the information provided to the Client.

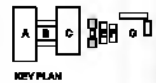
BACKINABACKIN  
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 1100 CAMPBELL AVE.  
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THE KENWOOD RANCH  
 WINERY  
 1100 CAMPBELL AVE.  
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Project Name	WINERY
Client	THE KENWOOD RANCH
Architect	BACKINABACKIN ARCHITECTS
Date	08/20/11
Scale	1/8" = 1'-0"
Sheet	A3.30
Drawn by	
Checked by	
Project No.	
Phase	
Discipline	
Author	
Reviewer	
Project Manager	
Client Representative	
Contract No.	
Contract Date	
Contract Value	
Contract Address	
Contract Description	
Contract Status	
Contract Start Date	
Contract End Date	
Contract Completion Date	
Contract Completion Status	

ELEVATIONS  
 BARREL  
 STORAGE  
 EAST  
 SCALE: 1/8" = 1'-0"



A3.30

**MATERIAL KEY:**

- MT-1 7/8" CORRUGATED METAL ROOFING
- MT-2 METAL WINDOWS AND DOORS
- MT-3 STEEL COLUMN
- MT-4 7/8" CORRUGATED METAL SIDING
- ST-1 STONE VENER
- WD-1 STAINED VERTICAL WOOD SIDING
- WD-2 STAINED WOOD PLANK DOORS

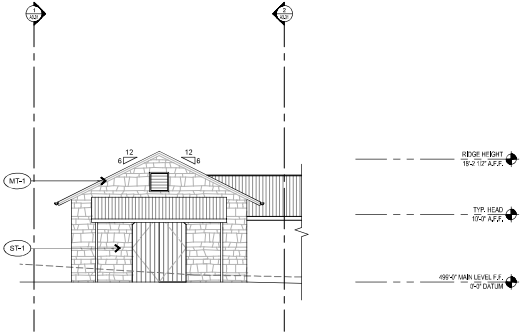
- NOTES:**
1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
  2. BUILDING ENVELOPE TO BE 1 HOUR RATED

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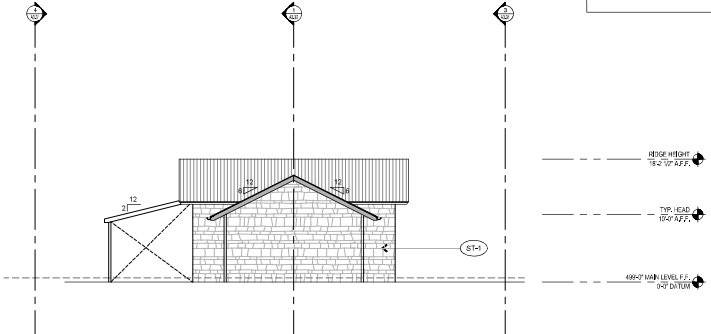
**BACKEN & BACKEN**  
ARCHITECTS INC.  
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KENWOOD, CALIFORNIA 94946  
TEL: 415.463.4400 FAX: 415.463.4401  
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**THE KENWOOD RANCH  
WINERY**

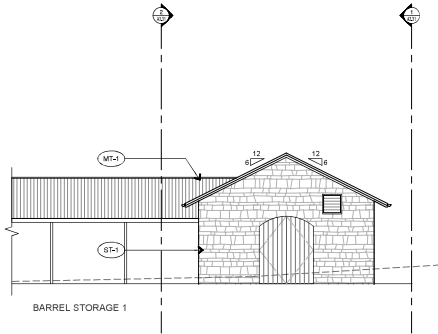
1180 CAMPBELL LANE  
KENWOOD, CALIFORNIA 94946



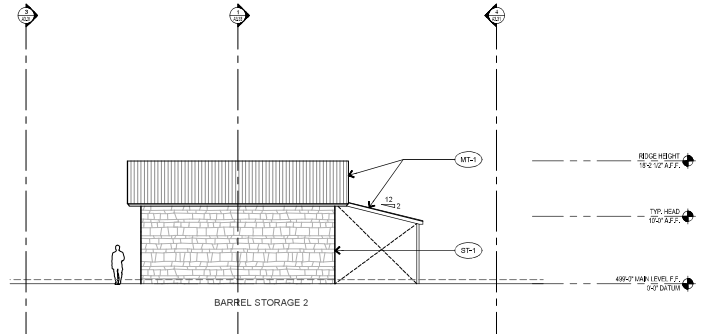
**4** BARREL STORAGE WEST - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



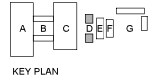
**2** BARREL STORAGE WEST - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**3** BARREL STORAGE WEST - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**1** BARREL STORAGE WEST - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



For Date	02/02/22
Drawn By	CM/MS
Checked By	CM/MS
Project No.	220141
Date	02/02/22
Issue	1.0
By	CM/MS
Checked By	CM/MS

**ELEVATIONS  
BARREL  
STORAGE  
WEST**

SCALE: 1/8" = 1'-0"

**A3.31**

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- MATERIAL KEY:**
- M-1 7/8" CORRUGATED METAL ROOFING
  - M-2 METAL WINDOWS AND DOORS
  - M-3 STEEL COLUMN
  - M-4 7/8" CORRUGATED METAL SIDING
  - ST-1 STONE VENEER
  - WD-1 STAINED VERTICAL WOOD SIDING
  - WD-2 STAINED WOOD PLANK DOORS
- NOTES:**
1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
  2. BUILDING ENVELOPE TO BE 1 HOUR RATED

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THE KENWOOD RANCH  
WINERY  
1180 CAMPANA LANE  
KENWOOD, CALIFORNIA 94923

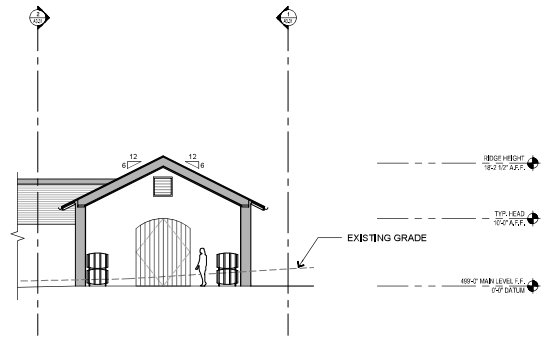


For Date	6/26/22
Drawn By	CB
Checked By	CB
Project No.	22043
Date	8/22/23
Issue	REVISED PER COMMENTS

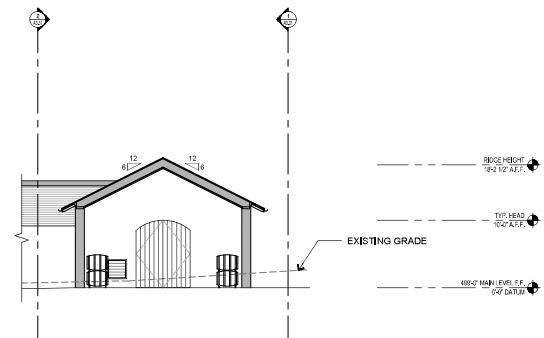
**SECTIONS  
BARREL  
STORAGE**

1/8"=1'-0"

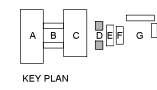
**A3.32**



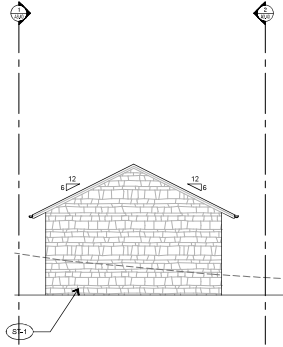
**2** BARREL STORAGE WEST - CROSS SECTION  
SCALE: 1/8" = 1'-0"



**1** BARREL STORAGE EAST - CROSS SECTION  
SCALE: 1/8" = 1'-0"

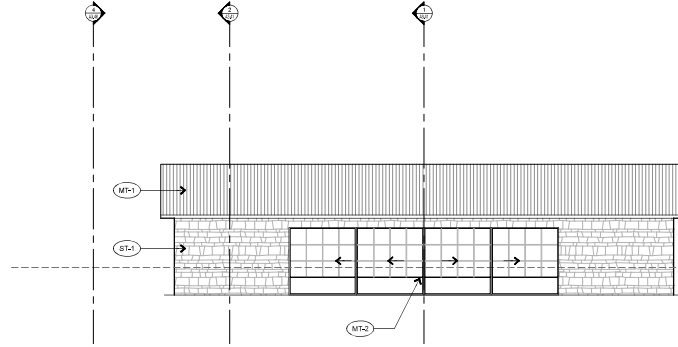


KEY PLAN



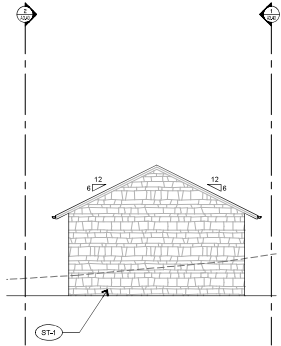
4 RESERVE TASTING & BARREL BLDG. - WEST ELEVATION

SCALE: 1/8" = 1'-0"



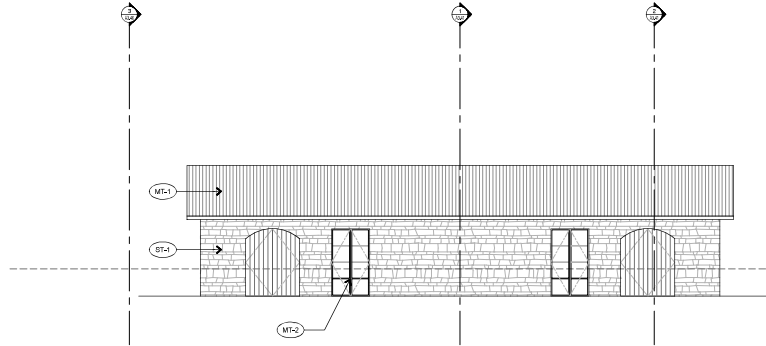
2 RESERVE TASTING & BARREL BLDG. - SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



3 RESERVE TASTING & BARREL BLDG. - EAST ELEVATION

SCALE: 1/8" = 1'-0"



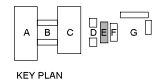
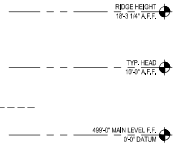
1 RESERVE TASTING & BARREL BLDG. - NORTH ELEVATION

SCALE: 1/8" = 1'-0"

**MATERIAL KEY:**

- MT-1 7/8" CORRUGATED METAL ROOFING
- MT-2 METAL WINDOWS AND DOORS
- MT-3 STEEL COLUMN
- MT-4 7/8" CORRUGATED METAL SIDING
- ST-1 STONE VENER
- WD-1 STAINED VERTICAL WOOD SIDING
- WD-2 STAINED WOOD PLANK DOORS

- NOTES:  
 1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION  
 2. BUILDING ENVELOPE TO BE 1 HOUR RATED



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**THE KENWOOD RANCH WINERY**



For Date	6/26/22
Drawn By	CS/MS
Checked By	CS/MS
Project No.	220041
Date	6/26/22
Issue	REVISED PER COMMENTS
By	CS/MS
Checked By	CS/MS

ELEVATIONS  
 RESERVE  
 TASTING &  
 BARREL BLDG.

SCALE: 1/8" = 1'-0"

A3.40

**MATERIAL KEY:**

- M1-1 7/8" CORRUGATED METAL ROOFING
- M1-2 METAL WINDOWS AND DOORS
- M1-3 STEEL COLUMN
- M1-4 7/8" CORRUGATED METAL SIDING
- ST-1 STONE VENEER
- WD-1 STAINED VERTICAL WOOD SIDING
- WD-2 STAINED WOOD PLANK DOORS

**NOTES:**

1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
2. BUILDING ENVELOPE TO BE 1 HOUR RATED

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**THE KENWOOD RANCH WINERY**  
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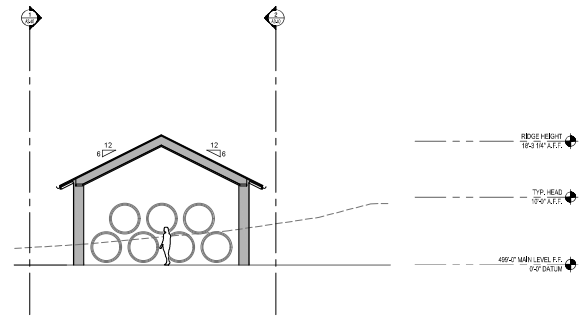


For Date	02/06/22
Drawn By	CS/ML
Checked By	CS/ML
Project No.	220141
Date	02/06/22
Issue	ISSUE FOR PERMITTING
By	CS/ML
Checked By	CS/ML

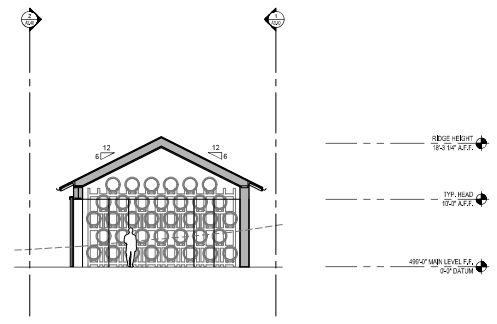
**SECTIONS TASTING BLDG**

SCALE: 1/8" = 1'-0"

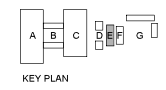
**A3.41**



**2** RESERVE TASTING & BARREL BLDG. @ BARREL ROOM - CROSS SECTION  
 AS.41 SCALE: 1/8" = 1'-0"



**1** RESERVE TASTING & BARREL BLDG. @ RESERVE TASTING - CROSS SECTION  
 AS.41 SCALE: 1/8" = 1'-0"



**MATERIAL KEY:**

- MT-1 7/8" CORRUGATED METAL ROOFING
- MT-2 METAL WINDOWS AND DOORS
- MT-3 STEEL COLUMN
- MT-4 7/8" CORRUGATED METAL SIDING
- ST-1 STONE VENEER
- WD-1 STAINED VERTICAL WOOD SIDING
- WD-2 STAINED WOOD PLANK DOORS

- NOTES:**
1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
  2. BUILDING ENVELOPE TO BE 1 HOUR RATED

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 KENWOOD, CALIFORNIA 95029

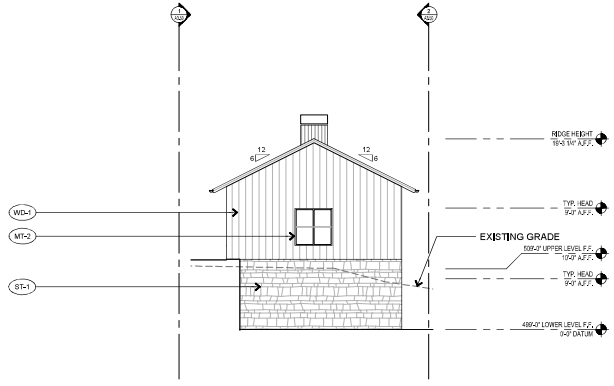


For Date	02/06/22
Drawn By	CS/MS
Checked By	CS/MS
Project No.	22014
Date	02/06/22
Scale	AS SHOWN

**ELEVATIONS OFFICE**

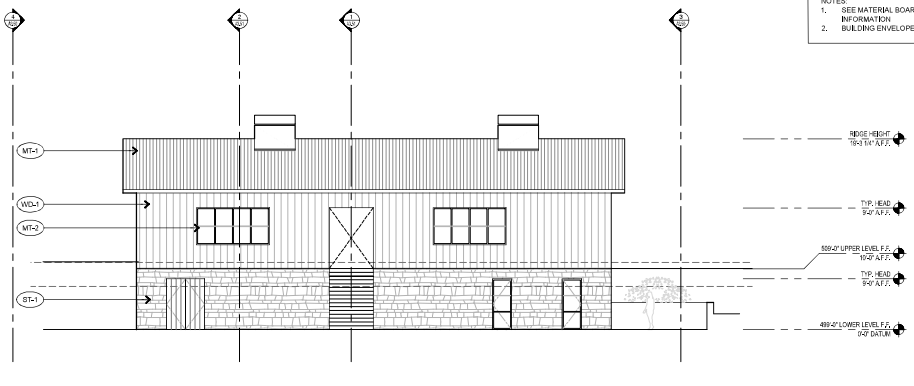
SCALE: 1/8" = 1'-0"

**A3.50**



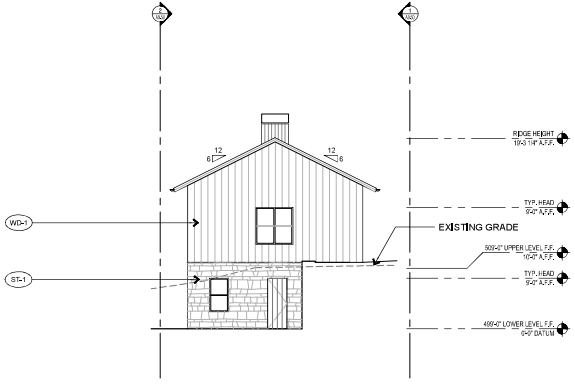
**4 OFFICE - WEST ELEVATION**

SCALE: 1/8" = 1'-0"



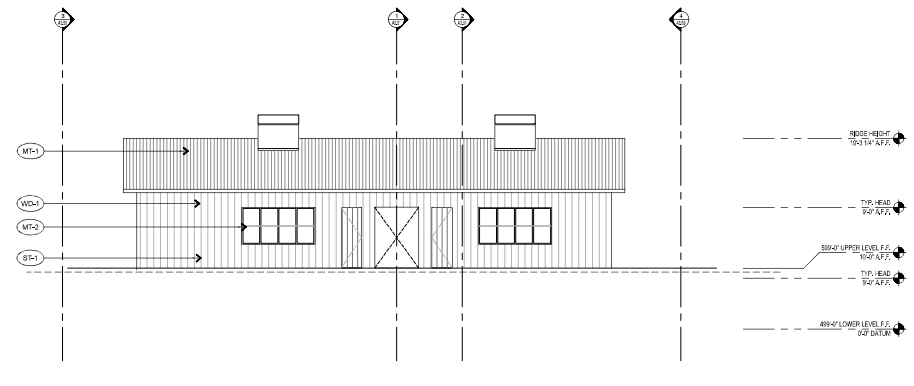
**2 OFFICE - SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



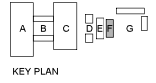
**3 OFFICE - EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**1 OFFICE - NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



KEY PLAN

**MATERIAL KEY:**

- M-1 7/8" CORRUGATED METAL ROOFING
- M-2 METAL WINDOWS AND DOORS
- M-3 STEEL COLUMN
- M-4 7/8" CORRUGATED METAL SIDING
- ST-1 STONE VENEER
- WD-1 STAINED VERTICAL WOOD SIDING
- WD-2 STAINED WOOD PLANK DOORS

**NOTES:**

1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
2. BUILDING ENVELOPE TO BE 1 HOUR RATED

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**THE KENWOOD RANCH WINERY**

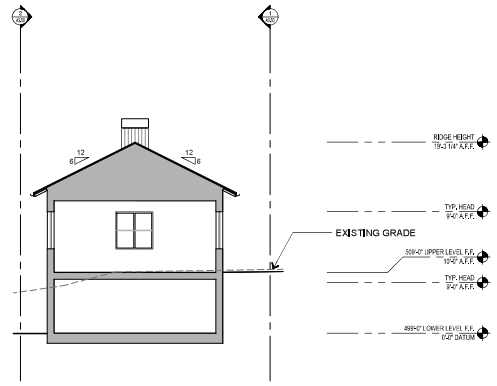


For Date	6/26/22
Drawn By	CB
Checked By	CB
Project No.	220043
Date	6/26/22
Issue	1.0
By	CB
Checked By	CB

**SECTIONS OFFICE**

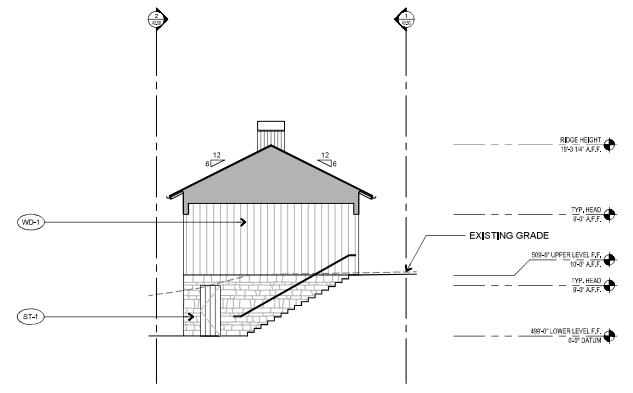
SCALE: 1/8" = 1'-0"

**A3.51**



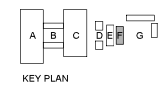
**2** OFFICE - CROSS SECTION  
A3.51

SCALE: 1/8" = 1'-0"

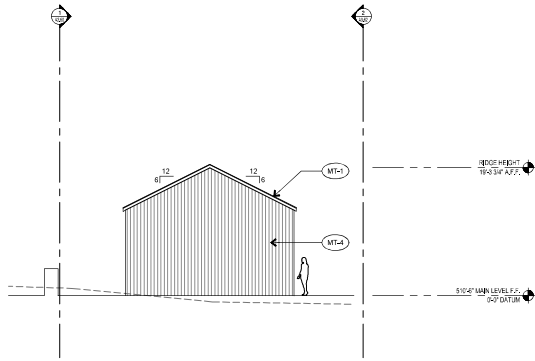


**1** OFFICE - CROSS SECTION  
A3.51

SCALE: 1/8" = 1'-0"



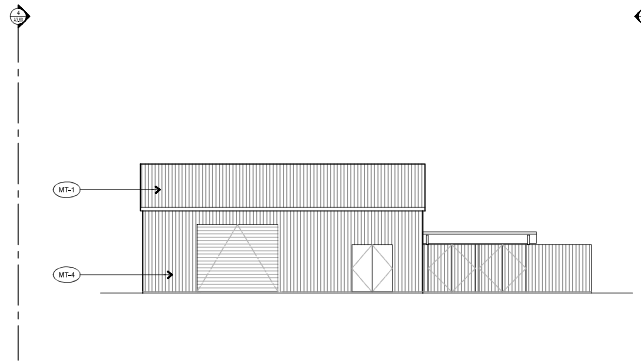
KEY PLAN



4 SERVICE BLDG 1 - WEST ELEVATION

A3.60

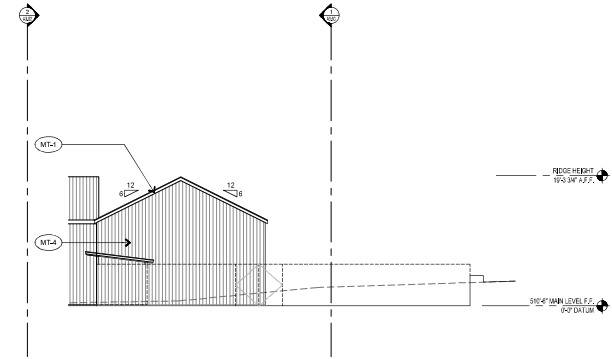
SCALE: 1/8" = 1'-0"



2 SERVICE BLDG 1 - SOUTH ELEVATION

A3.60

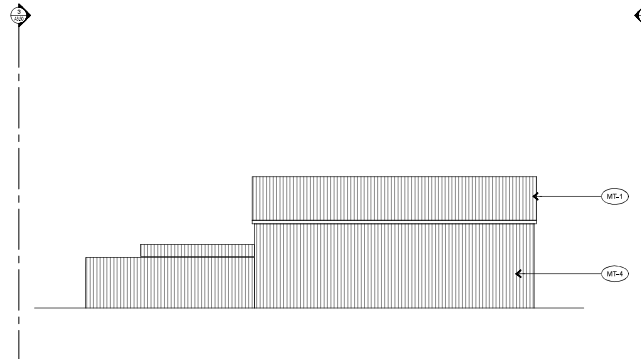
SCALE: 1/8" = 1'-0"



3 SERVICE BLDG 1 - EAST ELEVATION

A3.60

SCALE: 1/8" = 1'-0"



1 SERVICE BLDG 1 - NORTH ELEVATION

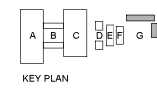
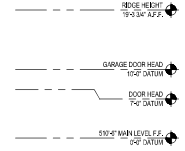
A3.60

SCALE: 1/8" = 1'-0"

**MATERIAL KEY:**

- M1-1 7/8\"/>

- NOTES:**
1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
  2. BUILDING ENVELOPE TO BE 1 HOUR RATED



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**THE KENWOOD RANCH WINERY**  
 1180 CAMPANELLA LANE  
 KENWOOD, CALIFORNIA 95020



For Date	6/26/22
Drawn By	CS/MS
Checked By	CS/MS
Project No.	220141
Date	6/26/22
Scale	1/8" = 1'-0"
Sheet No.	1 of 1
Project Name	THE KENWOOD RANCH WINERY
Client	THE KENWOOD RANCH WINERY
Site	1180 CAMPANELLA LANE, KENWOOD, CA
Architect	BACKEN & BACKEN ARCHITECTS
Address	1180 CAMPANELLA LANE, KENWOOD, CA 95020
Phone	925.835.1100
Fax	925.835.1101
Website	www.backenandbacken.com

**ELEVATIONS SERVICE BLDG 1**

SCALE: 1/8" = 1'-0"

**A3.60**



**MATERIAL KEY:**

- M1-1 7/8" CORRUGATED METAL ROOFING
- M1-2 METAL WINDOWS AND DOORS
- M1-3 STEEL COLUMN
- M1-4 7/8" CORRUGATED METAL SIDING
- ST-1 STONE VENER
- WD-1 STAINED VERTICAL WOOD SIDING
- WD-2 STAINED WOOD PLANK DOORS

- NOTES:**
1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
  2. BUILDING ENVELOPE TO BE 1 HOUR RATED

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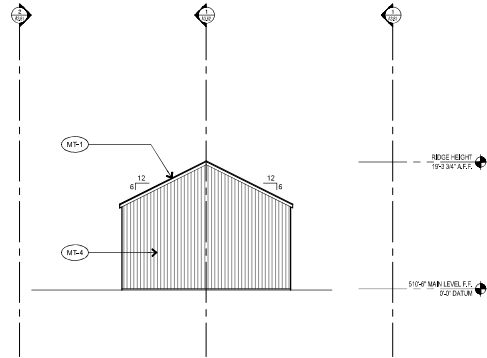


For Date	02/02/22
Drawn By	CS/MS
Checked By	CS/MS
Project No.	220141
Date	02/02/22
Issue	01 - 02/02/22
Issue	02 - 02/02/22
Issue	03 - 02/02/22
Issue	04 - 02/02/22
Issue	05 - 02/02/22
Issue	06 - 02/02/22
Issue	07 - 02/02/22
Issue	08 - 02/02/22
Issue	09 - 02/02/22
Issue	10 - 02/02/22
Issue	11 - 02/02/22
Issue	12 - 02/02/22

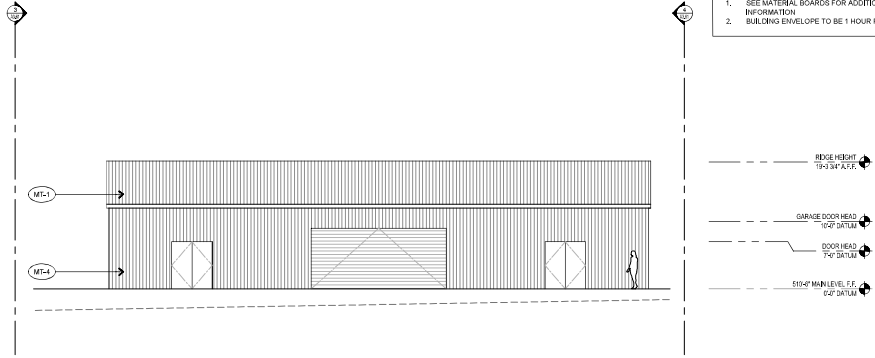
**ELEVATIONS SERVICE BLDG 2**

SCALE: 1/8" = 1'-0"

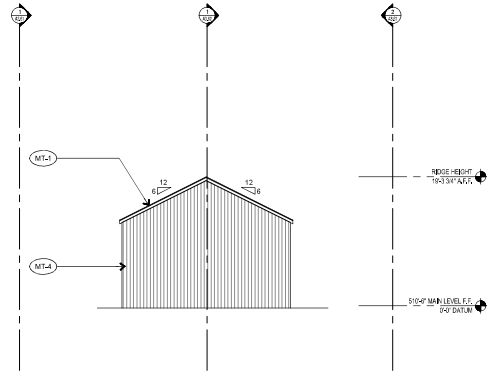
**A3.61**



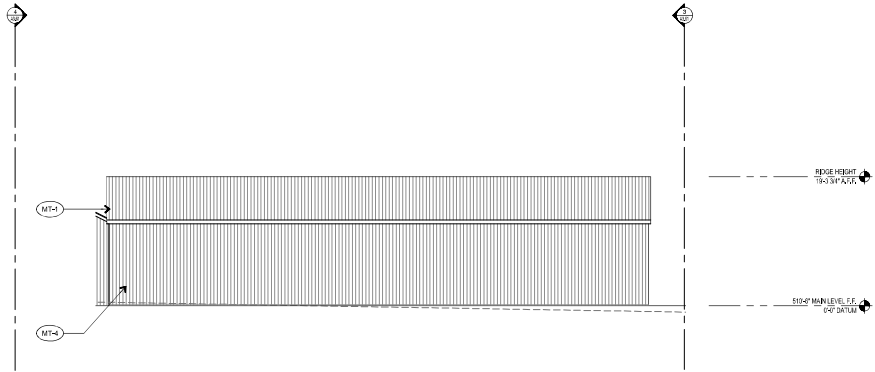
**4** SERVICE BLDG 2 - NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



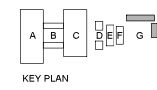
**2** SERVICE BLDG 2 - EAST ELEVATION  
SCALE: 1/8" = 1'-0"



**3** SERVICE BLDG 2 - SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**1** SERVICE BLDG 2 - WEST ELEVATION  
SCALE: 1/8" = 1'-0"



**MATERIAL KEY:**

- M1-1 7/8" CORRUGATED METAL ROOFING
- M1-2 METAL WINDOWS AND DOORS
- M1-3 STEEL COLUMN
- M1-4 7/8" CORRUGATED METAL SIDING
- ST-1 STONE VENEER
- WD-1 STAINED VERTICAL WOOD SIDING
- WD-2 STAINED WOOD PLANK DOORS

**NOTES:**

1. SEE MATERIAL BOARDS FOR ADDITIONAL INFORMATION
2. BUILDING ENVELOPE TO BE 1 HOUR RATED

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WINERY

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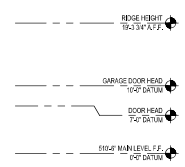
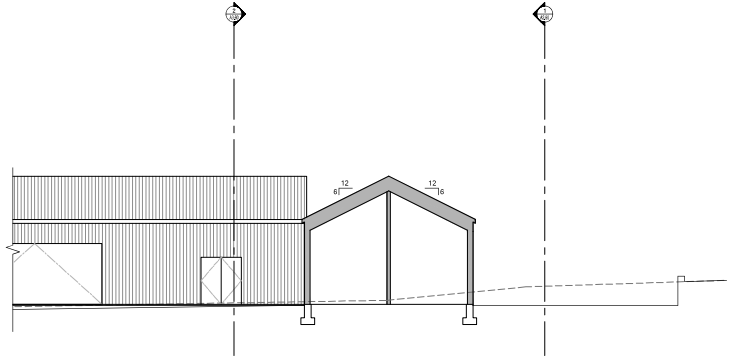


For Date	02/02/23
Drawn By	DP/MS
Checked By	DP/MS
Project No.	230143
Date	01/26/23
Issue	ISSUE FOR PERMITTING
Issue	ISSUE FOR PERMITTING
Issue	ISSUE FOR PERMITTING
Issue	ISSUE FOR PERMITTING
Issue	ISSUE FOR PERMITTING
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Issue	ISSUE FOR PERMITTING

**SECTIONS  
SERVICE  
BUILDING 1 & 2**

SCALE: 1/8" = 1'-0"

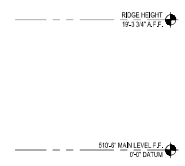
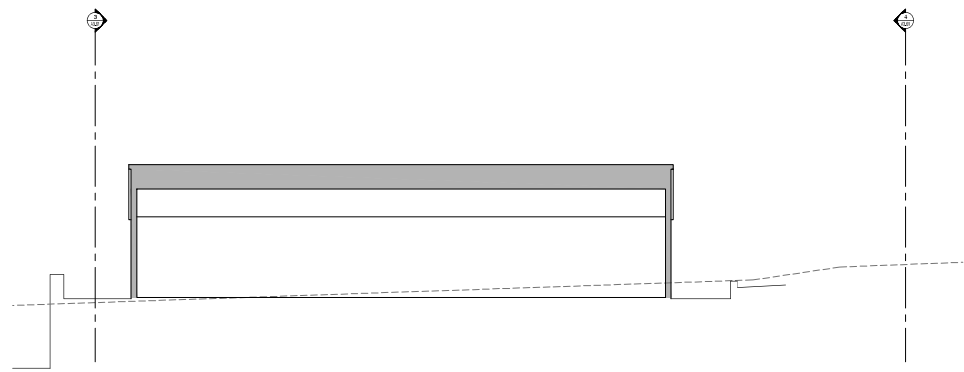
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2 SERVICE BLDG 1 - CROSS SECTION

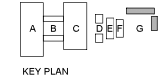
2  
A3.62

SCALE: 1/8" = 1'-0"



1 SERVICE BLDG 2 - LONGITUDINAL SECTION

1  
A3.62



SCALE: 1/8" = 1'-0"

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**BACKEN & BACKEN**  
 ARCHITECTS  
 1180 CAMPANA LANE  
 KENWOOD, CALIFORNIA 95029  
 (925) 835-7777

**THE KENWOOD RANCH WINERY**  
 1180 CAMPANA LANE  
 KENWOOD, CALIFORNIA 95029

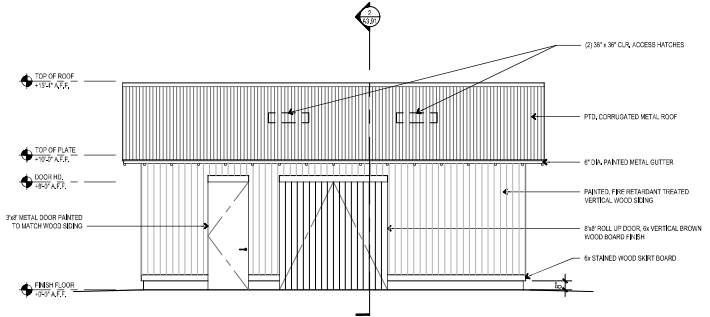


For Date	02/02/20
Drawn By	02/02/20
Checked By	02/02/20
Project No.	2018-01
Date	02/02/20
Issue	02/02/20
By	02/02/20
Check	02/02/20

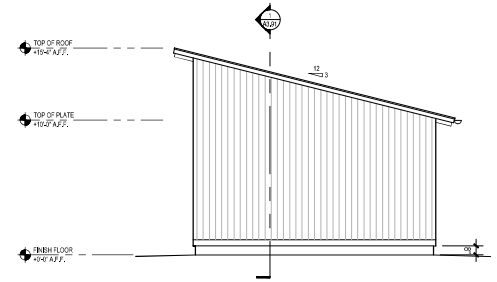
**WINERY WASTEWATER SHED ELEVATIONS**

1/4"=1'-0"

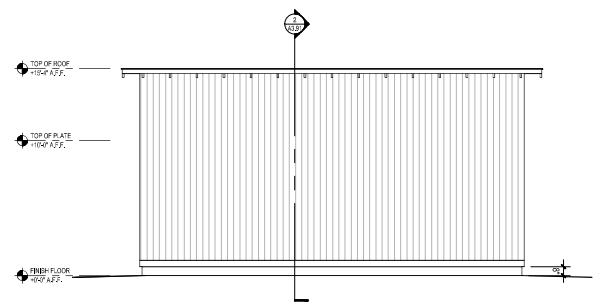
**A3.90**



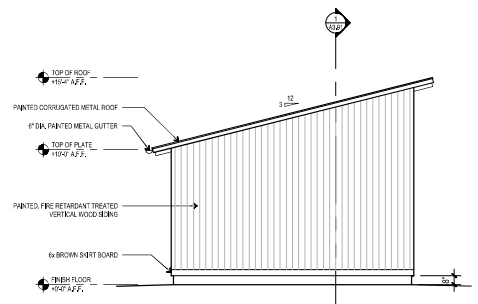
1 WEST ELEVATION  
 A3.90



2 NORTH ELEVATION  
 A3.90

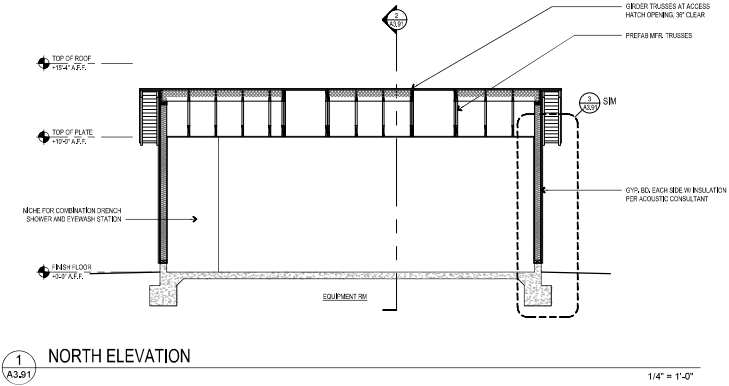


3 EAST ELEVATION  
 A3.90

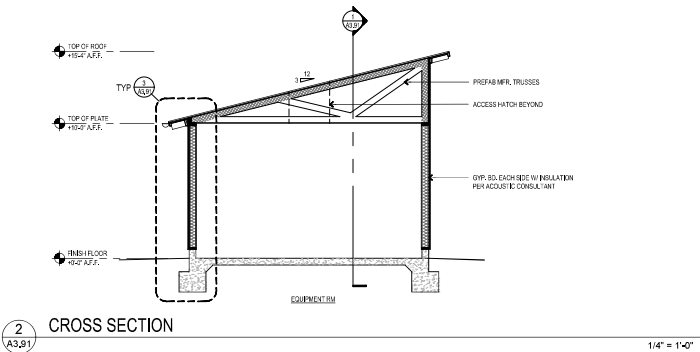


4 SOUTH ELEVATION  
 A3.90

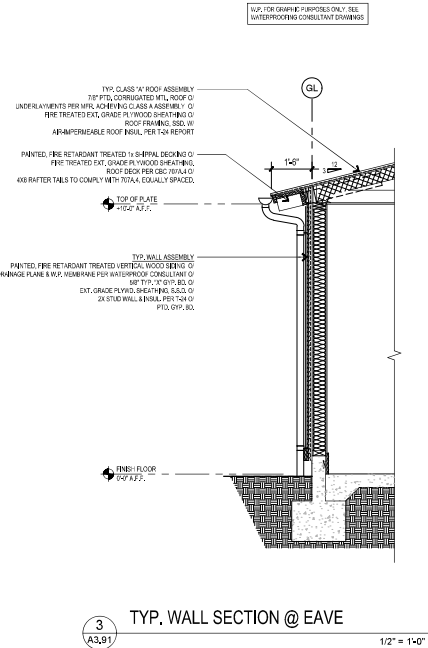
**NOTE:**  
 PROVIDE SOUND ABSORBIVE TREATMENT TO 30% MINIMUM OF THE SURFACE AREA OF THE WALLS AND CEILING OF THE EQUIPMENT ROOM PER ACQUISTE CONSULTANTS



1 NORTH ELEVATION  
 A3.91 1/4" = 1'-0"



2 CROSS SECTION  
 A3.91 1/4" = 1'-0"



3 TYP. WALL SECTION @ EAVE  
 A3.91 1/2" = 1'-0"

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**BACKEN & BACKEN**  
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 1180 CAMPANA LANE  
 KENWOOD, CALIFORNIA 95029

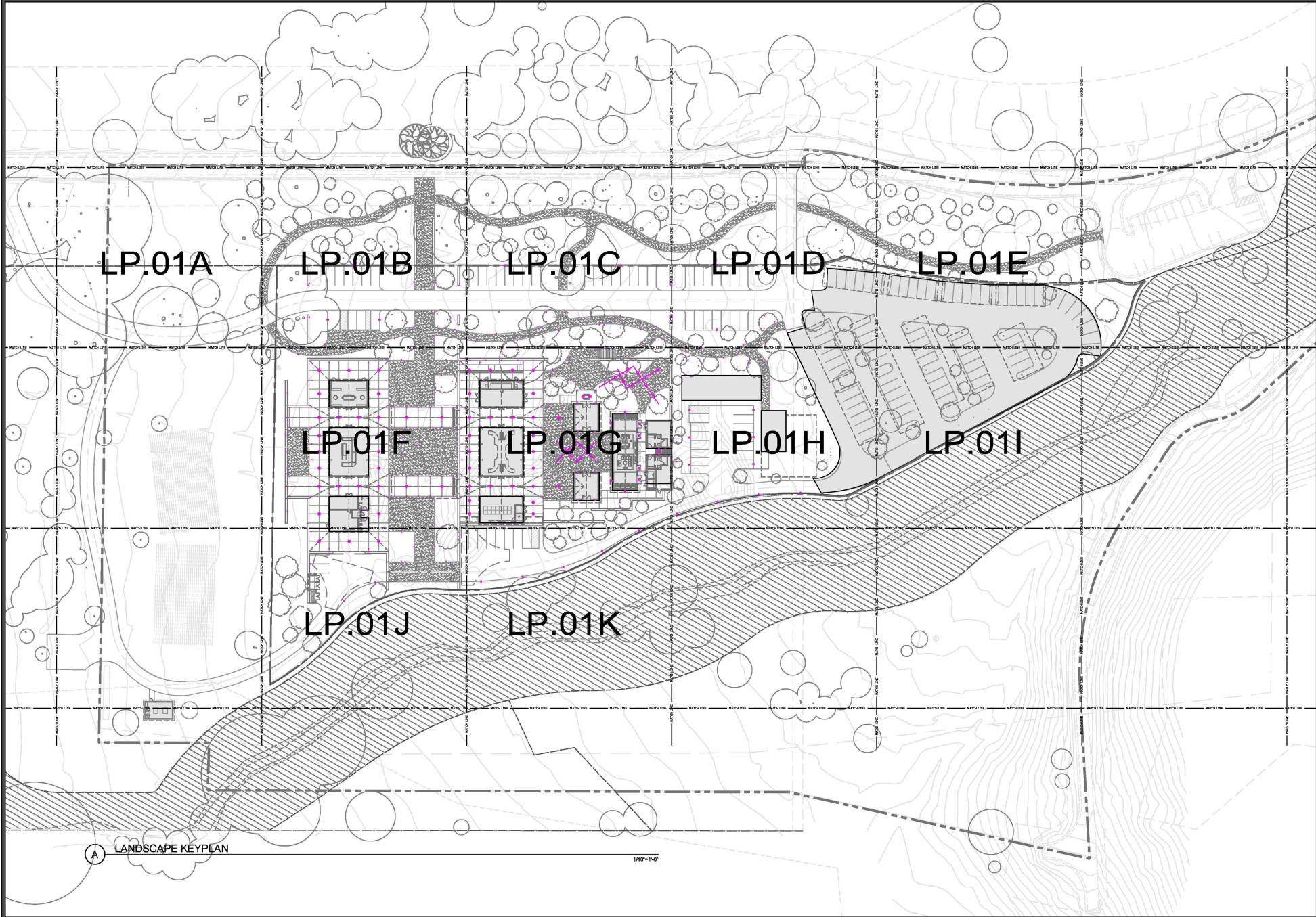
**THE KENWOOD RANCH WINERY**  
 1180 CAMPANA LANE  
 KENWOOD, CALIFORNIA 95029



For Date	6/26/22
Drawn By	CS
Checked By	CS
Project No.	220141
Date	6/26/22
Scale	AS SHOWN
Sheet No.	18 OF 18
Project Name	THE KENWOOD RANCH WINERY
Project Location	1180 CAMPANA LANE, KENWOOD, CA 95029
Project Description	WASTEWATER SHED SECTIONS
Project Status	AS NOTED

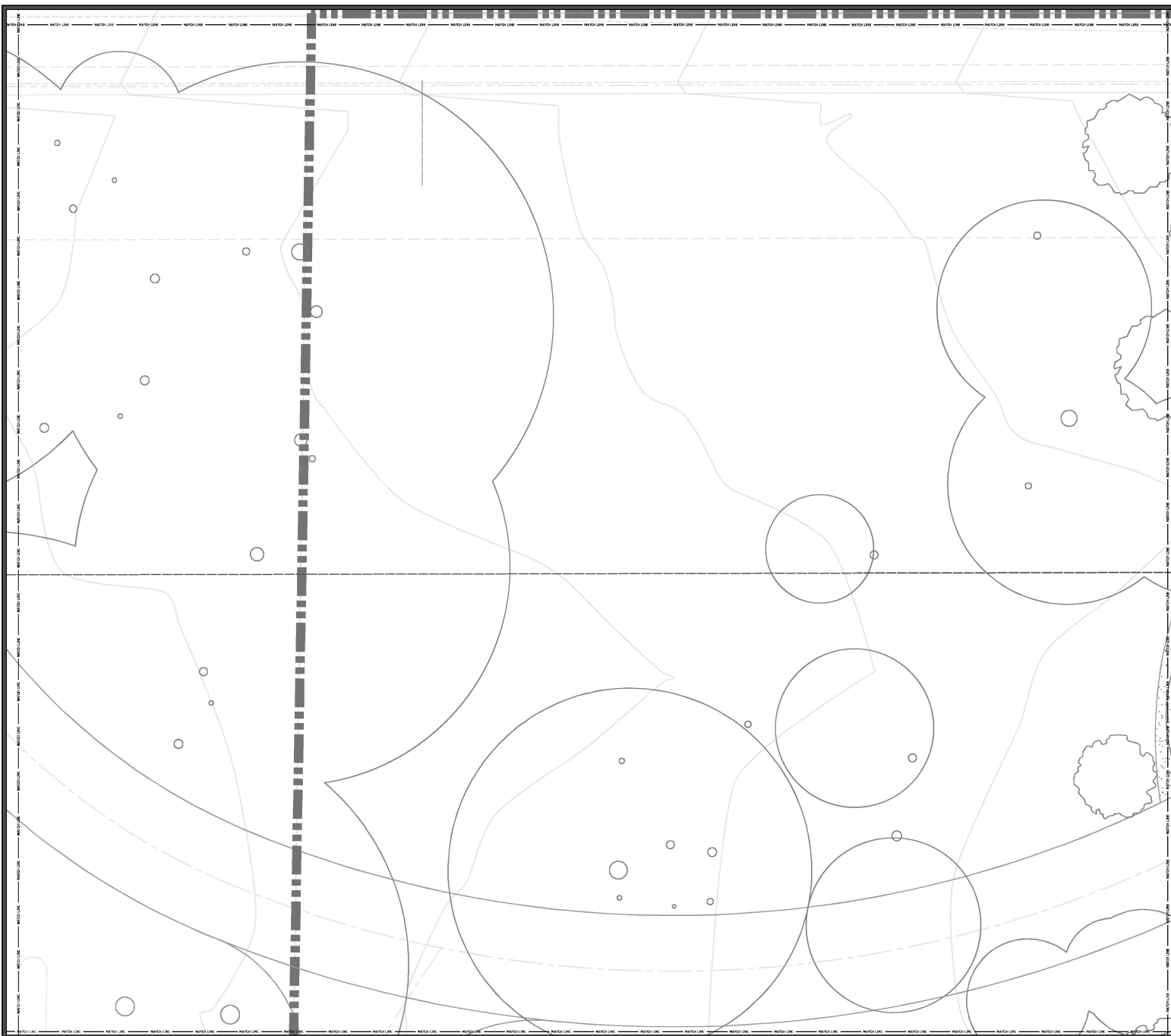
WINERY WASTEWATER SHED SECTIONS  
 AS NOTED

**A3.91**



**A** LANDSCAPE KEYPLAN

1/40"=1'-0"



### LIGHTING CONTROL & ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTONIC STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP KEYPAD STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE/FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED OCCUPANCY/VACANCY SENSOR TYPE/STYLE/FINISH TBD
[Symbol]	DOOR JAM SWITCH (CONTACT CLOSURE/LIMIT SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG (NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE)
[Symbol]	EXHAUST FAN, PROVIDED BY OTHERS (SHOWS AIR CONTROL OCCUPATION PURPOSES ONLY)
[Symbol]	LIGHT FIXTURE SYMBOL - SHAPE VARIES (ROUND, SQUARE, ETC.) LIGHT FIXTURE TYPE TAG (P, L, D, L, L, L) LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER: 101, 102, 103, ETC. - LIGHTING LOCATED ON CONTROL SYSTEM LETTER: A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

### GENERAL NOTES

- FOR DECORATIVE FIXTURES DENOTED "D", ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED, SEE DIMMERS FOR ZONING AND CONTROLS.
- ACTUAL LOCATION OF FLOORWALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
- ALL DECORATIVE RECESS LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER, REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT, SEE DIMMERS FOR ZONING AND CONTROLS.
- ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE (IF SHOWN IN CLOSE PROXIMITY).
- EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER, REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV APPROPRIATE DIMMER.

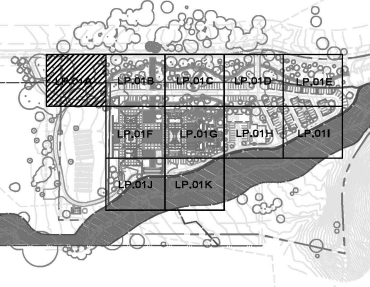
### CONTROL SYSTEM NOTES


- CONTROL SYSTEM IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER/ELECTRICAL CONTRACTOR AND/OR ENGINEER, TO VERIFY SYSTEM AND PROVIDE ANY ALL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
- PLAN REFINISHED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY) TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
- WHERE KEYPAD/SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
- SEE LIGHTING PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT (FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS, (TYPICALLY PROVIDED IN CD PACKAGE). REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
- FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER, REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

### NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE

- GENERAL
  - ALL LIGHTING TO BE HIGH EFFICACY (IJC COMPLIANT LAMPS AND/OR LUMINAIRES)
  - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
  - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
  - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING
  - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
    - PHOTOCELL AND MOTION SENSOR
    - ASTRONOMICAL TIME CLOCK
    - ASTRONOMICAL TIME CLOCK
    - EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK

### Landscape Key-Plan





481 Second Street #609  
San Francisco, CA 94107  
P: (415) 616 - 0855

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**KENWOOD RANCH - WINERY**  
CAMPAGNA LANE  
KENWOOD, CALIFORNIA 95409

1/22/21 DESIG REVIEW  
03/14/22 DESIGN REVIEW/1  
07/06/22 DOC DATE/ISSUE

Floor: 01  
Drawn: BS  
Checked: JR  
Scale: 1/8"=1'-0"

Landscape Lighting Layout  
**LP.01A**

**LIGHTING CONTROL & ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTURAL STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP KEYPAD STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED OCCUPANCY/VACANCY SENSOR TYPE#STYLE#FINISH TBD
[Symbol]	DOOR JAM SWITCH (CONTACT CLOSURE/LIMIT SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE
[Symbol]	FAN ZONE EXHAUST FAN, PROVIDED BY OTHERS SHOWN FOR CONTROL COORDINATION PURPOSES ONLY
[Symbol]	LIGHT FIXTURE SYMBOL - SHAPE VARIES (ROUND, SQUARE, ETC.) LIGHT FIXTURE TAG (P, L, LI, LI1, LI2) LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER: RP, RP2, TR, TR2, ETC. - LIGHTING LOCATED ON CONTROL SYSTEM LETTER: A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

**GENERAL NOTES**

- FOR DECORATIVE FEATURES DENOTED "D", ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DIMMERS FOR ZONING AND CONTROLS.
- ACTUAL LOCATION OF FLOORWALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
- ALL DECORATIVE SCIENCE LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DIMMERS FOR ZONING AND CONTROLS.
- ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE IF SHOWN IN CLOSE PROXIMITY.
- EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV APPROPRIATE DIMMER.

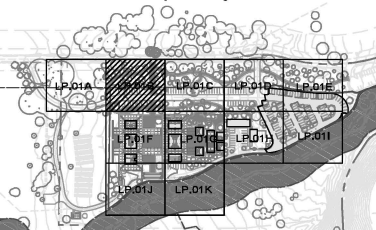
**CONTROL SYSTEM NOTES**

- CONTROL SYSTEM IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER (ELECTRICAL CONTRACTOR AND/OR ENGINEER), TO VERIFY SYSTEM AND PROVIDE ANY ALL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
- PLAN REFINISHED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY) TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
- WHERE KEYPAD, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
- SEE LIGHTING PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT (FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS, (TYPICALLY PROVIDED IN CD PHASE).
- REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
- FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

**NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE**

- GENERAL
  - ALL LIGHTING TO BE HIGH EFFICIENCY (AA COMPLIANT LAMPS AND/OR LUMINAIRES)
  - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
  - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
  - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING
  - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
    - PHOTOCELL AND MOTION SENSOR
    - ASTRONOMICAL TIME SWITCH
    - ASTRONOMICAL TIME CLOCK
    - EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK.

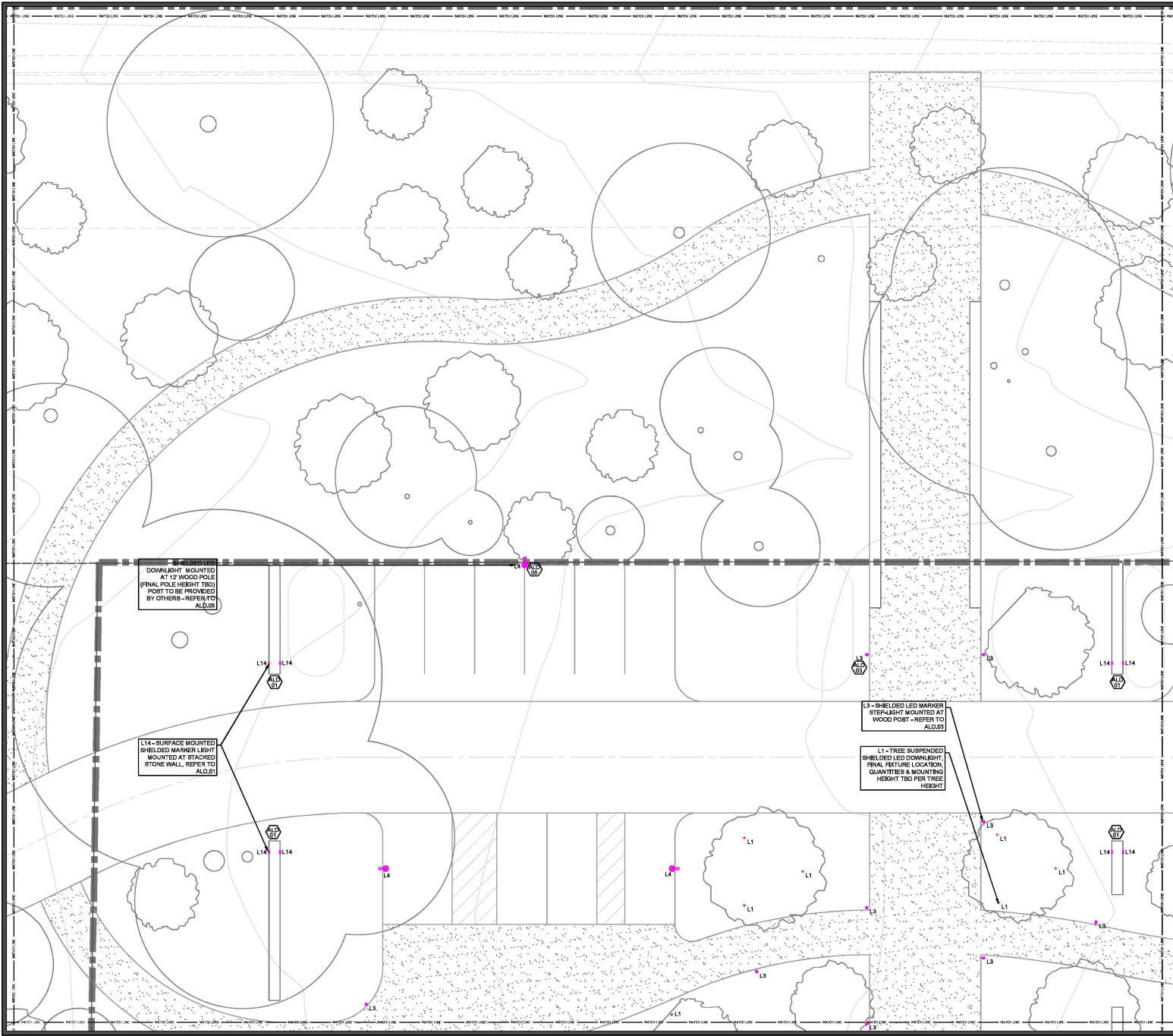
**Landscape Key-Plan**



1/20/21 DESIGN REVIEW  
03/14/22 DESIGN REVIEW/1  
07/06/22 DOC DATE/ISSUE

Floor 01  
Drawn JB  
Checked JB  
Scale 1/8"=1'-0"

Landscape Lighting Layout  
**LP.01B**



L14 - SHIELDED LED DOWNLIGHT MOUNTED AT 12" WOOD POLE (FINAL POLE HEIGHT TBD) POST TO BE PROVIDED BY OTHERS - REFER TO ALD.05

L14 - SURFACE MOUNTED SHIELDED MARKER LIGHT MOUNTED AT STACKED STONE WALL, REFER TO ALD.05

L3 - SHIELDED LED MARKER STEP-LIGHT MOUNTED AT WOOD POST - REFER TO ALD.05

L1 - TREE SUSPENDED SHIELDED LED DOWNLIGHT, FINAL FIXTURE LOCATION, QUANTITIES & MOUNTING HEIGHT TBD PER TREE HEIGHT

**LIGHTING CONTROL & ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTURE STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP KEYPAD STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED OCCUPANCY/VACANCY SENSOR TYPE: STYLE FINISH TBD
[Symbol]	DOOR JAM SWITCH (CONTACT CLOSURE/LIMIT SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG (NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE)
[Symbol]	FAN EXHAUST FAN, PROVIDED BY OTHERS SHOWS FAN CONTROL COORDINATION PURPOSES ONLY
[Symbol]	LIGHT FEATURE SYMBOL - SHAPE VARIES (ROUND, SQUARE, ETC.) LIGHT FEATURE TYPE TAG (P, L, D, ETC.) LIGHT FEATURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER: 101, 102, 103, ETC. - LIGHTING IS LOCATED ON CONTROL SYSTEM LETTER: A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

- GENERAL NOTES**
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  - ACTUAL LOCATION OF FLOOR/WALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
  - ALL DECORATIVE SOURCE LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  - ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DIMMERS FOR ZONING AND CONTROLS.
  - ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE IF SHOWN IN CLOSE PROXIMITY.
  - EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  - WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV APPROPRIATE DIMMER.

- CONTROL SYSTEM NOTES**
- CONTROL SYSTEM IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER (ELECTRICAL CONTRACTOR AND/OR ENGINEER) TO VERIFY SYSTEM AND PROVIDE ANY ALL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
  - PLAN REFINISHED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY) TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
  - WHERE KEYPAD/SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
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  - REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
  - FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

- NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE**
- GENERAL
    - ALL LIGHTING TO BE HIGH EFFICACY (AA COMPLIANT LAMPS AND/OR LUMINAIRES)
    - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
    - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
    - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING
    - EXTERIOR LIGHTING IS TO BE CONTROLLED BY ONE OF THE FOLLOWING:
      - PHOTOCELL AND TIME SWITCH
      - ASTRONOMICAL TIME CLOCK
      - EMCS FEATURES OF ASTRONOMICAL TIME CLOCK

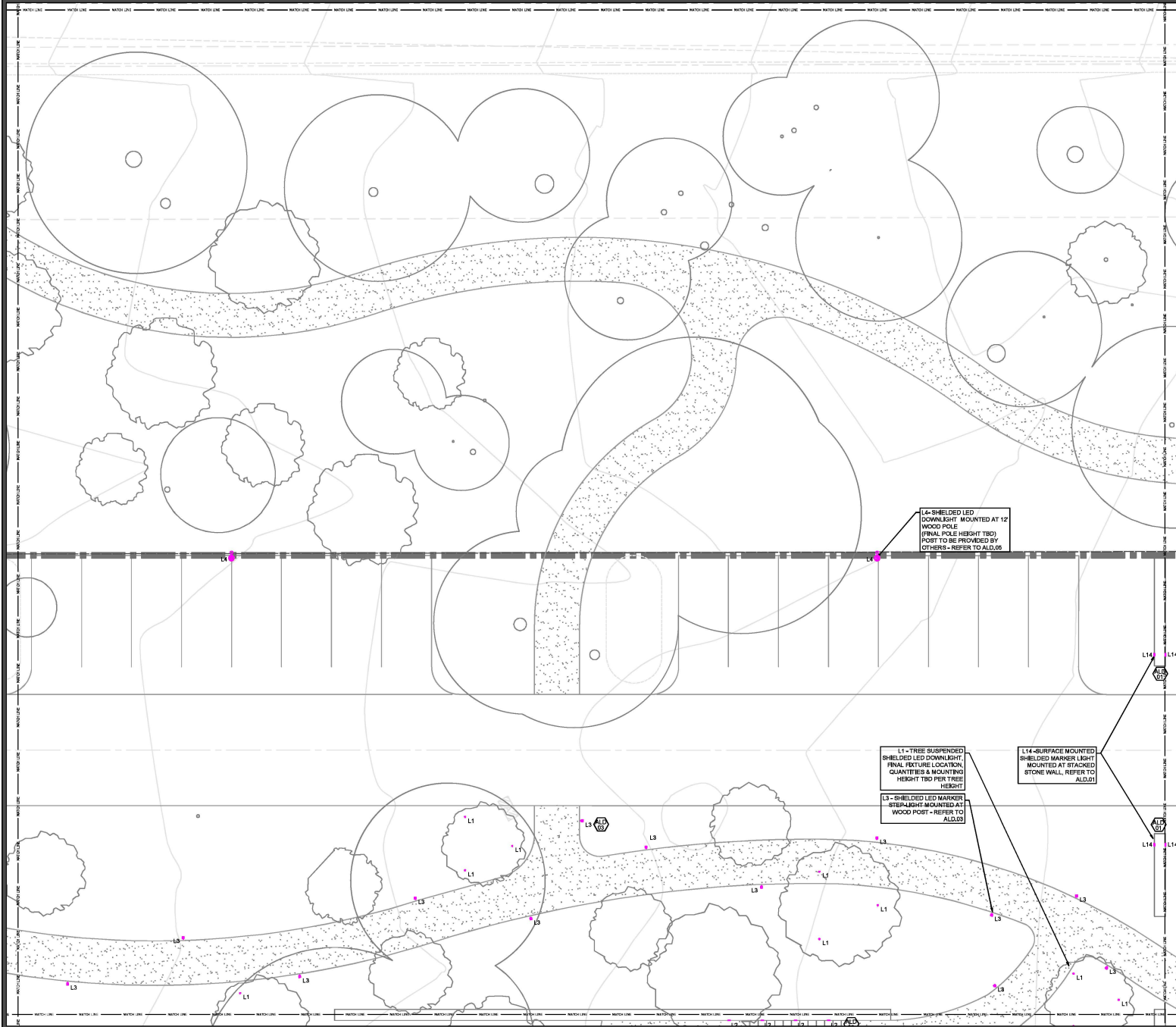
**Landscape Key-Plan**



1/20/21 CDRBN REVIEW  
03/04/22 CDRBN REVIEW  
07/06/22 CDRBN REVIEW

Drawn: BS  
Checked: JR  
Scale: 1/8"=1'-0"

Landscape Lighting Layout  
**LP.01C**





**LIGHTING CONTROL & ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTURAL STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE, TOP KEYPAD STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED OCCUPANCY/VACANCY SENSOR TYPE#STYLE#FINISH TBD
[Symbol]	DOOR JAM SWITCH (CONTACT CLOSURE/LIMIT SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG (NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE)
[Symbol]	EXHAUST FAN, PROVIDED BY OTHERS (SHOWN FOR CONTROL COORDINATION PURPOSES ONLY)
[Symbol]	LIGHT FIXTURE SYMBOL - SHAPE VARIES (ROUND, SQUARE, ETC.) LIGHT FIXTURE TYPE TAG (F, L, LI, LCI, ETC.) LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) LETTERS A, B, S, ETC. - LIGHTING IS LOCATED ON CONTROL SYSTEM LETTERS A, B, S, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

**GENERAL NOTES**

- FOR DECORATIVE FEATURES DENOTED "D", ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DIMMERS FOR ZONING AND CONTROLS.
- ACTUAL LOCATION OF FLOORWALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
- ALL DECORATIVE FIXTURE LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DIMMERS FOR ZONING AND CONTROLS.
- ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE IF SHOWN IN CLOSE PROXIMITY.
- EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV APPROPRIATE DIMMER.

**CONTROL SYSTEM NOTES**

- CONTROL SYSTEM IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALL ELECTRICAL CONTRACTOR AND/OR ENGINEER, TO VERIFY SYSTEM AND PROVIDE ANY ALL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
- PLAN PROVIDED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY) TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
- WHERE KEYPAD, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
- SEE LIGHTING PRE-PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT (FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS, (TYPICALLY PROVIDED IN CD PHASE).
- REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
- FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

**NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE**

- GENERAL
  - ALL LIGHTING TO BE HIGH EFFICACY (IJC COMPLIANT LAMPS AND/OR LUMINAIRES)
  - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
  - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
  - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING
  - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
    - PHOTOCELL AND MOTION SENSOR
    - PHOTOCELL AND TIME SWITCH
    - ASTRONOMICAL TIME CLOCK
    - EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK

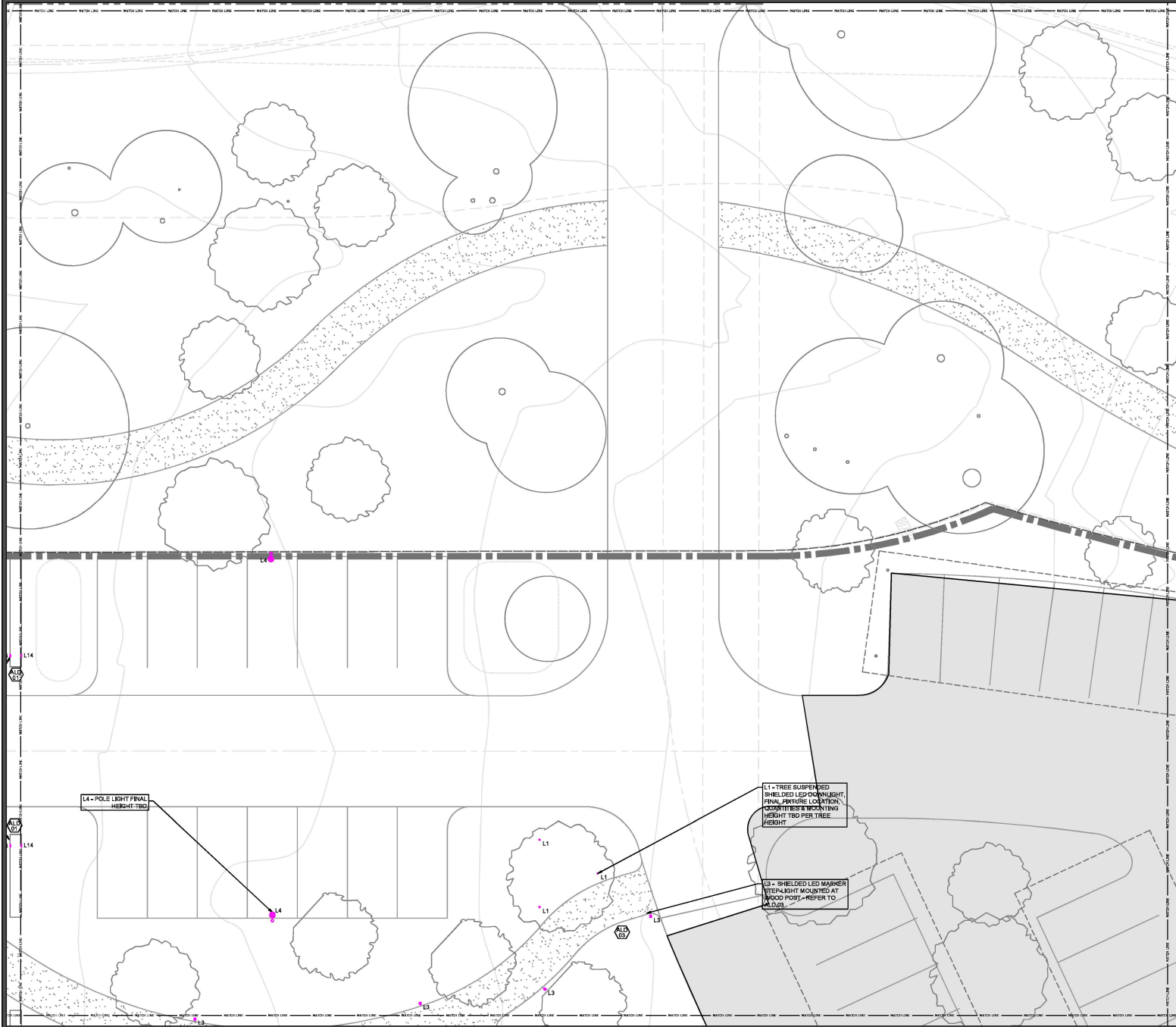
**Landscape Key-Plan**



1/23/21 DESIGN REVIEW  
03/04/22 DESIGN REVIEW  
07/06/22 DOC DATE/ISSUE

Floor 01  
Drawn BS  
Checked JR  
Scale 1/8"=1'-0"

Landscape Lighting Layout  
**LP.01D**





### LIGHTING CONTROL & ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTURAL STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP KEYPAD STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE#FINISH TBD, REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED OCCUPANCY/VACANCY SENSOR TYPE#STYLE#FINISH TBD
[Symbol]	DOOR JAM SWITCH (CONTACT CLOSURE/LIMIT SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG (NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE)
[Symbol]	EXHAUST FAN, PROVIDED BY OTHERS (SHOW FOR CONTROL COORDINATION PURPOSES ONLY)
[Symbol]	LIGHT FEATURE SYMBOL - SHAPE VARIES (ROUND, SQUARE, ETC.) LIGHT FEATURE TYPE TAG (P, L, D, ETC.) LIGHT FEATURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER: R#, I#, O#, ETC. - LIGHTING LOCATED ON CONTROL SYSTEM LETTER: A, B, S, ETC. - LIGHTING BE LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

### GENERAL NOTES

- FOR DECORATIVE FEATURES DENOTED 'D', ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED, SEE DRAWINGS FOR ZONING AND CONTROLS.
- ACTUAL LOCATION OF FLOOR/WALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
- ALL DECORATIVE RECESSED LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER, REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT, SEE DRAWINGS FOR ZONING AND CONTROLS.
- ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE IF SHOWN IN CLOSE PROXIMITY.
- EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER, REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV APPROPRIATE DIMMER.

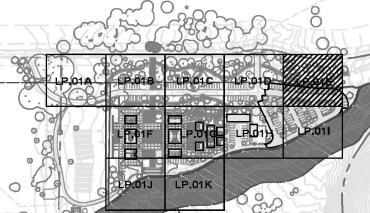
### CONTROL SYSTEM NOTES


- CONTROL SYSTEM IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER (ELECTRICAL CONTRACTOR AND/OR ENGINEER) TO VERIFY SYSTEM AND PROVIDE ANY ALL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
- PLAN RECESSED LIGHTING CONTROL SYSTEM KEYPAD, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY) TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
- WHERE KEYPAD, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
- SEE LIGHTING PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT (FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS, TYPICALLY PROVIDED IN CD PACKAGE. REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
- FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER, REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

### NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE

- GENERAL
  - ALL LIGHTING TO BE HIGH EFFICACY (IAC COMPLIANT LAMPS AND/OR LUMINAIRES)
  - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
  - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
  - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING
  - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
    - PHOTOCELL AND MOTION SENSOR
    - PHOTOCELL AND TIME SWITCH
    - ASTRONOMICAL TIME CLOCK
    - EMCS IN FEATURES OF ASTRONOMICAL TIME CLOCK

### Landscape Key-Plan





481 Second Street, #600  
San Francisco, CA 94107  
P: (415) 616-0855

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**KENWOOD RANCH - WINERY**  
CAMPAGNA LANE  
KENWOOD, CALIFORNIA 95409

1/23/21 DESIGN REVIEW  
03/04/22 DESIGN REVIEW/1  
07/06/22 DOC DATE/ISSUE

Floor: 01  
Drawn: BS  
Checked: JR  
Scale: 1/8"=1'-0"

Landscape Lighting Layout  
**LP.01E**

**LIGHTING CONTROL & ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTURE STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP KEYPAD STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	CEILING MOUNTED OCCUPANCY/VACANCY SENSOR TYPE/STYLE/FINISH TBD.
[Symbol]	DOOR JAM SWITCH (CONTACT CLOSURE/RELEASANT SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG (NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE)
[Symbol]	EXHAUST FAN PROVIDED BY OTHERS (SHOWN FOR CONTROL COORDINATION PURPOSES ONLY)
[Symbol]	LIGHT FUTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER 101, 201, 301, ETC. - LIGHTING IS LOCATED ON CONTROL SYSTEM LETTER A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

**GENERAL NOTES:**

- FOR DECORATIVE FIXTURES DENOTED "D", ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DRAWINGS FOR ZONING AND CONTROLS.
- ACTUAL LOCATION OF FLOOR/WALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
- ALL DECORATIVE SCONES, LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DRAWINGS FOR ZONING AND CONTROLS.
- ALL KEYPADS/DIMMERS/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE (IF SHOWN IN CLOSE PROXIMITY).
- EACH KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
- WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV-APPROPRIATE DIMMER.

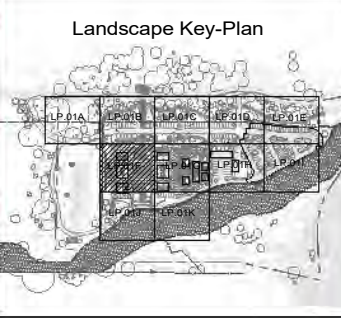
**CONTROL SYSTEM NOTES:**

CONTROL SYSTEM DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER/ELECTRICAL CONTRACTOR AND/OR ENGINEER TO VERIFY SYSTEM AND PROVIDE ANNUAL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.

- PLAN REFERENCED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM)
- WHERE KEYPADS, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE
- SEE LIGHTING PRE-PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT (FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS. (TYPICALLY PROVIDED IN CD PHASE)
- REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM
- FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

**NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE:**

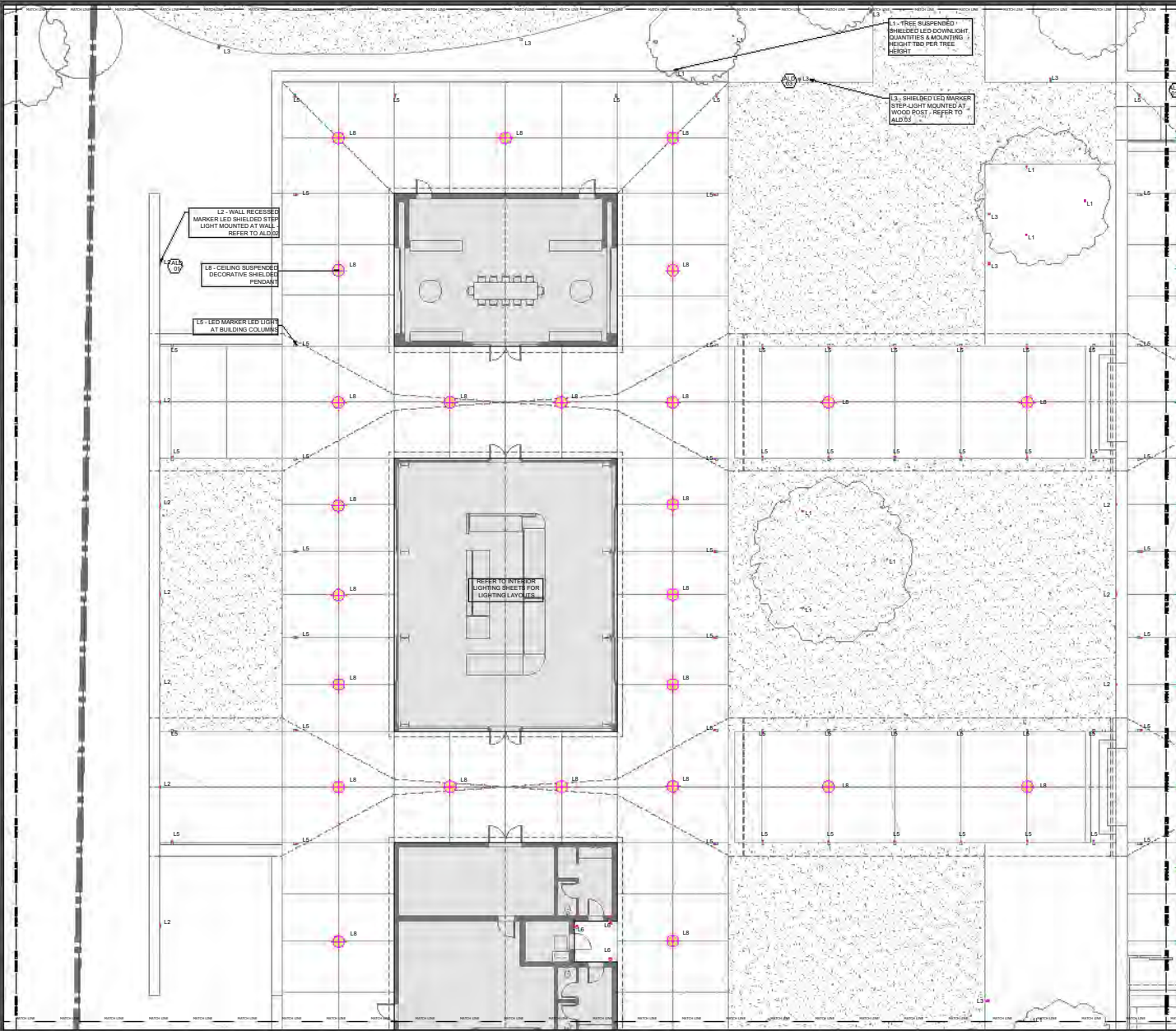
- GENERAL:**
  - REQUIRING TO BE HIGH EFFICACY (JAM COMPLIANT LAMPS AND/OR LUMINAIRES)
  - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES
  - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES
  - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING
  - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
    - PHOTOCELL & MOTION SENSOR
    - PHOTOCELL AND TIME SWITCH
    - ASTRONOMICAL TIME CLOCK
    - EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK



10/20/21 DESIGN REVIEW  
03/14/22 DESIGN REVIEW #1  
01/06/23 DEC. DRAWINGS

Flair 01  
Drawn BA  
Checked JR  
Scale 1/8"=1'-0"

Landscape Lighting Layout  
**LP.01F**



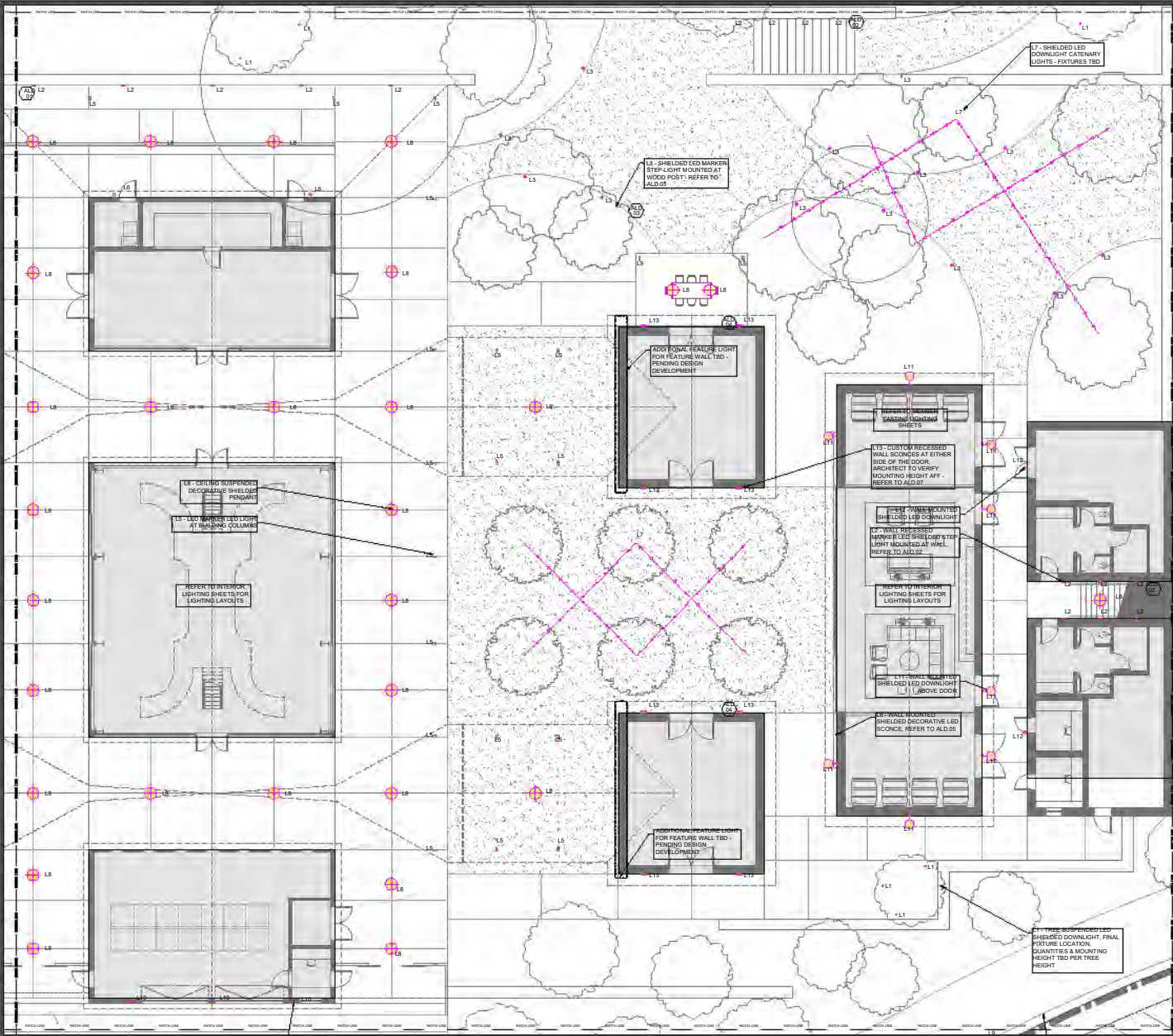
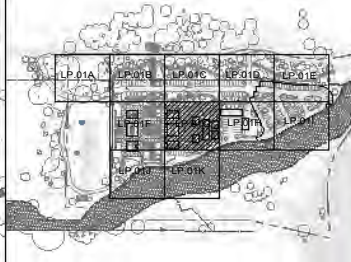
**LIGHTING CONTROL & ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTURE STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP KEYPAD STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	CEILING MOUNTED OCCUPANCY/VACUANCY SENSOR TYPE: ST/LE/FINISH TBD.
[Symbol]	DOOR JAMB SWITCH (CONTACT CLOSURE/EMERGENCY SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACUANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG (NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE)
[Symbol]	EXHAUST FAN PROVIDED BY OTHERS (SHOWN FOR CONTROL COORDINATION PURPOSES ONLY)
[Symbol]	LIGHT FIXTURE SYMBOLS - "SQUARE WAVES" SYMBOLS (SQUARE, ETC.)
[Symbol]	LIGHT FIXTURE TYPE TAG (T, L, D, ETC.)
[Symbol]	LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER 101, 201, 301, ETC. - LIGHTING ALLOCATED ON CONTROL SYSTEM LETTER A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

- GENERAL NOTES:**
- PORTRENDERATIVE FIXTURES DENOTED "D". ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DRAWINGS FOR ZONING AND CONTROLS.
  - ACTUAL LOCATION OF FLOOR/WALL RECEPTABLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
  - ALL DECORATIVE SCENIC LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  - ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DRAWINGS FOR ZONING AND CONTROLS.
  - ALL KEYPADS/DIMMERS/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE (IF SHOWN IN CLOSE PROXIMITY).
  - EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  - WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE M.V.-APPROPRIATE DIMMER.
- CONTROL SYSTEM NOTES:**
- CONTROL SYSTEM TO BE DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM SHALL BE ELECTRICAL CONTRACTOR AND/OR ENGINEER TO VERIFY SYSTEM AND PROVIDE ANIMAL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
- PLAN REFERENCED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM)
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- NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE:**
- GENERAL.
    - RETURNING TO BE HIGH EFFICACY (JAM COMPLIANT LAMPS AND/OR LUMINAIRES)
    - MANUAL ON/OFF CONTROL, REQUIRED FOR ALL SPACES.
    - OCCUPANCY/VACUANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
    - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING.
    - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
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      - PHOTOCELL AND TIME SWITCH
      - ASTRONOMICAL TIME CLOCK
      - EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK.

**Landscape Key-Plan**



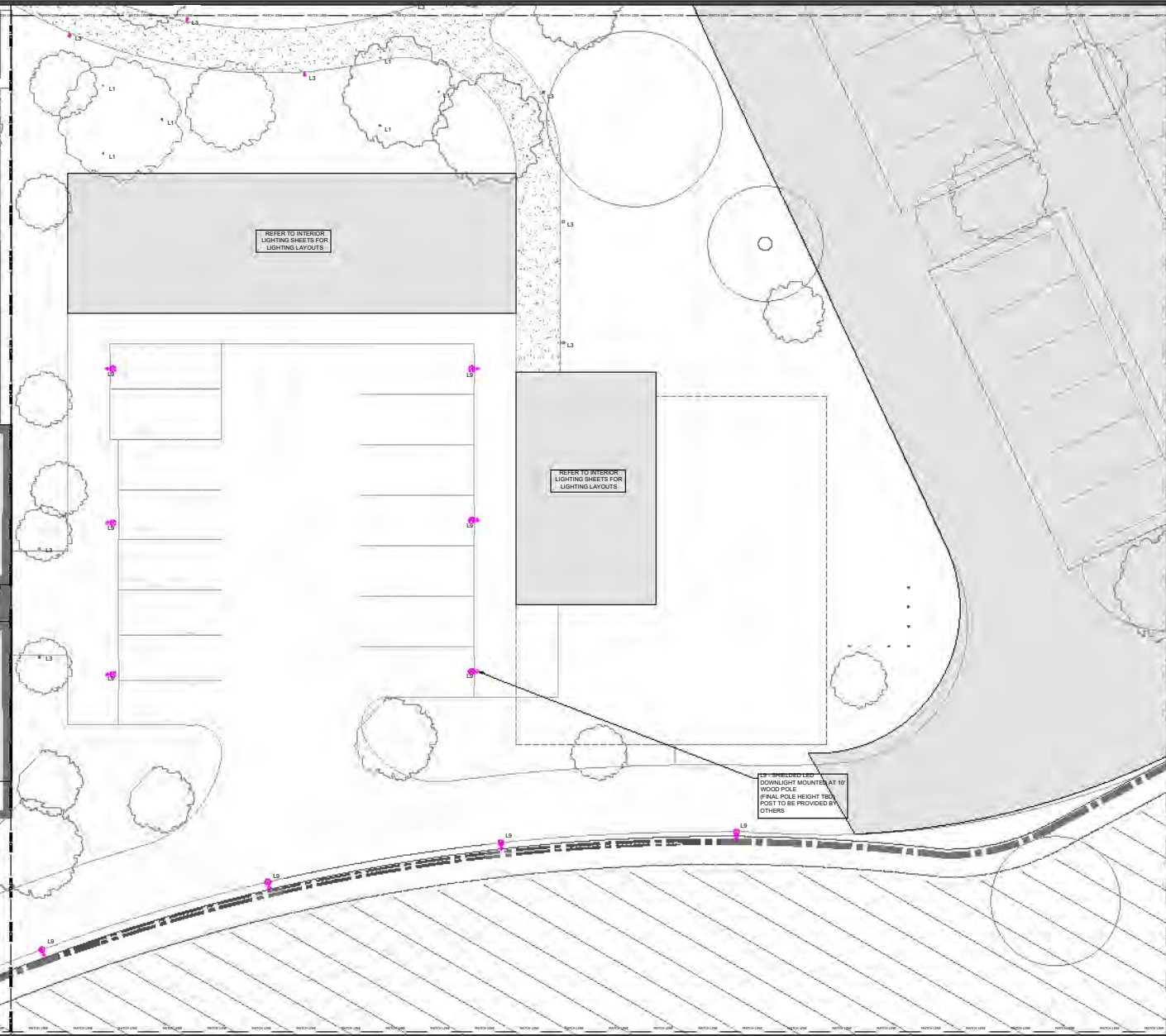
**LIGHTING CONTROL & ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITECTURE STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP VIEWING STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
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[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
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[Symbol]	EXHAUST FAN PROVIDED BY OTHERS (SHOWN FOR CONTROL COORDINATION PURPOSES ONLY)
[Symbol]	LIGHT FIXTURE SYMBOLS: "SQUARE" SQUARE (SQUARE, ETC.)
[Symbol]	LIGHT FIXTURE TYPE TAG (T, L, D, ETC.)
[Symbol]	LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL)
[Symbol]	NUMBER 100, 200, ETC. - LIGHTING IS LOCATED ON CONTROL SYSTEM
[Symbol]	LETTER A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

- GENERAL NOTES:**
1. PORTRENDERATIVE FIXTURES DENOTED "D". ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DRAWINGS FOR ZONING AND CONTROLS.
  2. ACTUAL LOCATION OF FLOOR/WALL RECEPTABLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
  3. ALL DECORATIVE SCONES, LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  4. ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DRAWINGS FOR ZONING AND CONTROLS.
  5. ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE (IF SHOWN IN CLOSE PROXIMITY).
  6. EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  7. WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV-APPROPRIATE DIMMER.

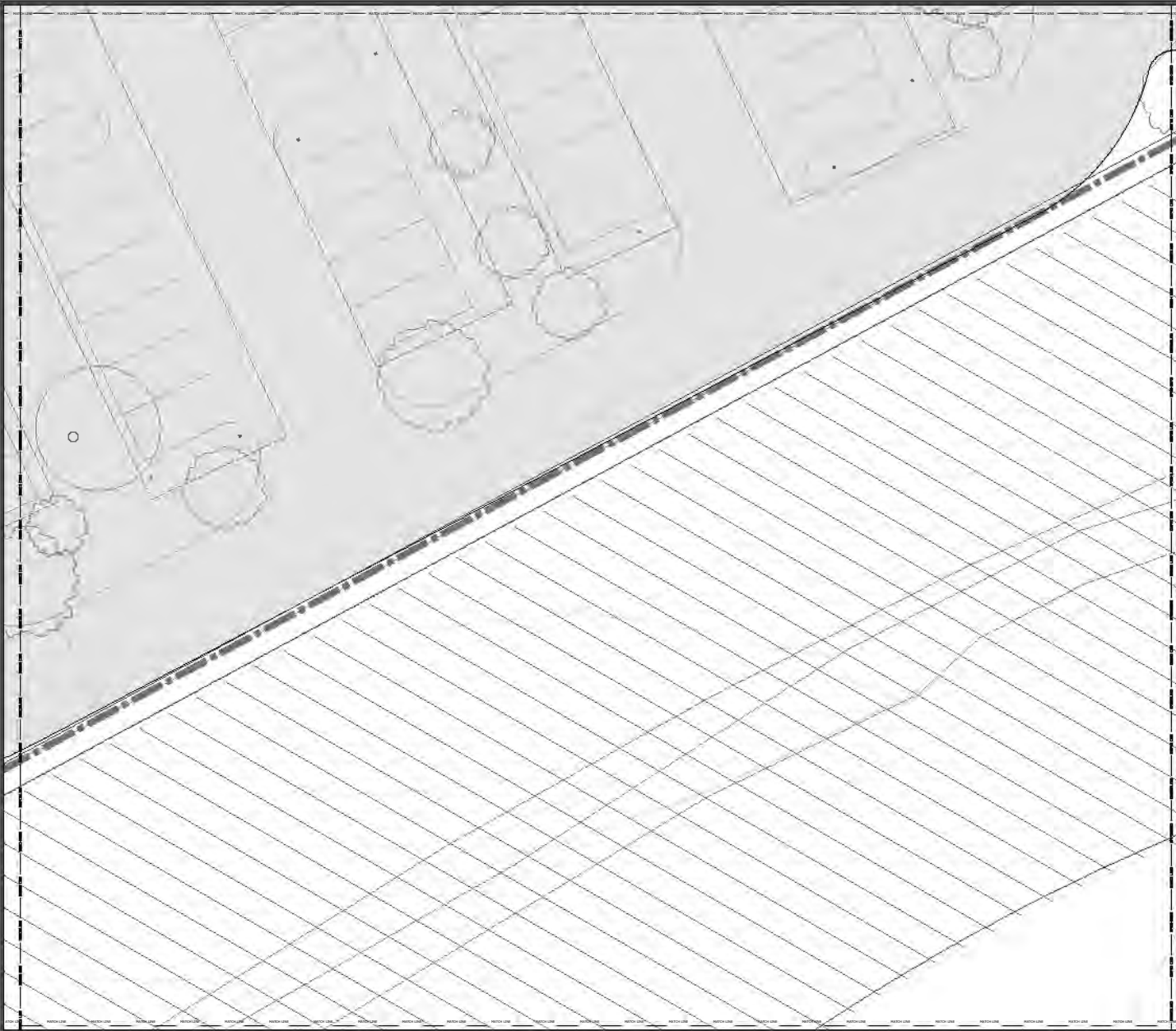
- CONTROL SYSTEM NOTES:**
1. CONTROL SYSTEM DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM/INSTALLER/ELECTRICAL CONTRACTOR AND/OR ENGINEER TO VERIFY SYSTEM AND PROVIDE ANNUAL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
  2. PLAN REFERENCED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES SELECT SWITCHES ONLY TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
  3. WHERE KEYPADS, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
  4. SEE LIGHTING PRE-PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS. (TYPICALLY PROVIDED IN CD PHASE).
  5. REFER TO PLANS FOR FLOOR AND WALL RECEPTABLES LOCATED ON LIGHTING CONTROL SYSTEM.
  6. FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

- NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE:**
1. GENERAL:  
    - \* REFER TO BE HIGH EFFICACY (JAM COMPLIANT LAMPS AND/OR LUMINAIRES)
    - \* MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
    - \* OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
    - \* EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING.
    - \* EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
      - \* PHOTOCELL & MOTION SENSOR
      - \* PHOTOCELL AND TIME SWITCH
      - \* ASTRONOMICAL TIME CLOCK
    - \* EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK.



03/20/21 DESIGN REVIEW  
03/16/21 DESIGN REVIEW #1  
01/06/20 DEC. DRAWINGS

Drawn BY BA  
Checked BY JR  
Scale 1/8"=1'-0"



**LIGHTING CONTROL & ELECTRICAL LEGEND**

SYMBOL	DESCRIPTION
	LIGHTING KEYPAD - SINGLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	LIGHTING KEYPAD - DOUBLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	LIGHTING KEYPAD - TRIPLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	LIGHTING KEYPAD - ARCHITRAVE STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	LIGHTING TABLE TOP KEYPAD STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	WALL MOUNTED SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	WALL MOUNTED DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
	CEILING MOUNTED OCCUPANCY/VACUANCY SENSOR TYPE: STYLE/FINISH TBD.
	DOOR JAM SWITCH (CONTACT CLOSURE/AMT SWITCH)
	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACUANCY SENSOR
	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
	ARCHITECTURAL LIGHTING DETAIL TAG (NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE)
	EXHAUST FAN PROVIDED BY OTHERS (SHOWN FOR CONTROL COORDINATION PURPOSES ONLY)
	LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER 101, 102, 103, ETC. - LIGHTING IS LOCATED ON CONTROL SYSTEM LETTER A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

**GENERAL NOTES:**

1. ALL PORTRECEPTIVE FIXTURES DENOTED "D". ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DRAWINGS FOR ZONING AND CONTROLS.
2. ACTUAL LOCATION OF FLOOR/WALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
3. ALL DECORATIVE SOUNDS, LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
4. ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DRAWINGS FOR ZONING AND CONTROLS.
5. ALL KEYPADS/DIMMERS/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE (IF SHOWN IN CLOSE PROXIMITY).
6. EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
7. WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV-APPROPRIATE DIMMER.

**CONTROL SYSTEM NOTES:**

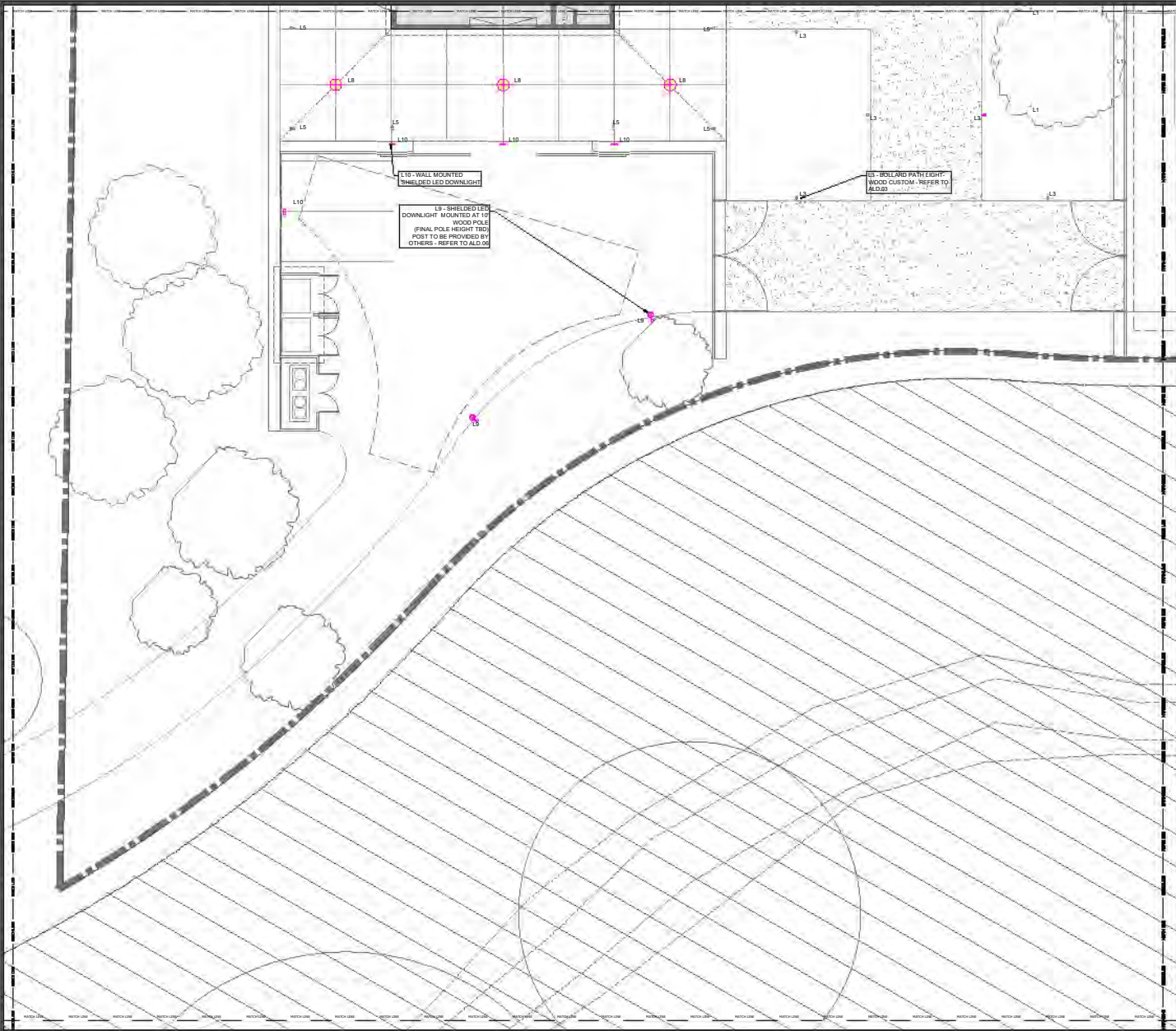
1. CONTROL SYSTEM IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER, ELECTRICAL CONTRACTOR AND/OR ENGINEER TO VERIFY SYSTEM AND PROVIDE ANNUAL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.

2. PLAN REFERENCED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY) TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
3. WHERE KEYPADS, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
4. SEE LIGHTING PRE-PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS. (TYPICALLY PROVIDED IN CD PHASE)
5. REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
6. FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

**NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE:**

1. GENERAL:
  - \* RECOMMENDING TO BE HIGH EFFICACY (JAM COMPLIANT LAMPS AND/OR LUMINAIRES)
  - \* MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
  - \* OCCUPANCY/VACUANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
  - \* EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING.
  - \* EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
    - \* PHOTOCELL & MOTION SENSOR
    - \* PHOTOCELL AND TIME SWITCH
    - \* ASTRONOMICAL TIME CLOCK
    - \* EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK.





**LIGHTING CONTROL & ELECTRICAL LEGEND**

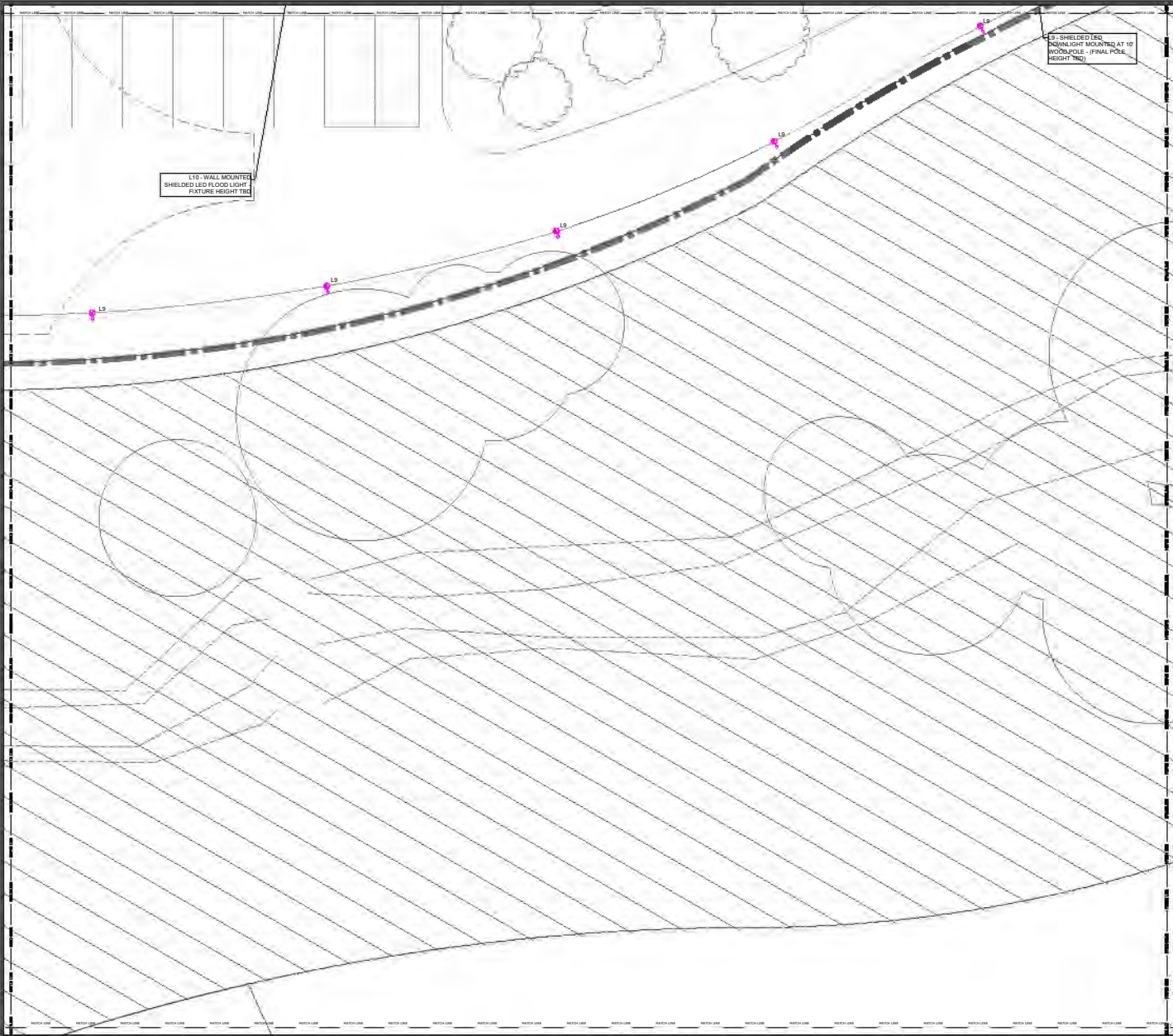
SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITRAVE STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TABLE TOP KEYPAD STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING) STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	CEILING MOUNTED OCCUPANCY/VACANCY SENSOR TYPE: STYLISH/INSHI TBD.
[Symbol]	DOOR JAMB SWITCH (CONTACT CLOSURE/ELIM. SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE
[Symbol]	EXHAUST FAN PROVIDED BY OTHERS (SHOWN FOR CONTROL COORDINATION PURPOSES ONLY)
[Symbol]	LIGHT FIXTURE SYMBOLS - "SQUARE WINGS" (SQUARE, ETC.) LIGHT FIXTURE TYPE TAG (T, L, D, ETC.) LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL) NUMBER 101, 202, 303, ETC. - LIGHTING IS LOCATED ON CONTROL SYSTEM LETTER A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

- GENERAL NOTES:**
1. FOR INCANDESCENT FIXTURES DENOTED "D", ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DRAWINGS FOR ZONING AND CONTROLS.
  2. ACTUAL LOCATION OF FLOOR/WALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
  3. ALL DESIGNATING SYMBOLS, LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  4. ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DRAWINGS FOR ZONING AND CONTROLS.
  5. ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE (IF SHOWN IN CLOSE PROXIMITY).
  6. EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
  7. WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV-APPROPRIATE DIMMER.

- CONTROL SYSTEM NOTES:**
1. CONTROL SYSTEM IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER/ELECTRICIAN CONTRACTOR AND/OR ENGINEER TO VERIFY SYSTEM AND PROVIDE ANNUAL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
  2. PLAN REFERENCED LIGHTING CONTROL SYSTEM KEYPADS, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY) TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM.
  3. WHERE KEYPADS, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
  4. SEE LIGHTING PRE-PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS. (TYPICALLY PROVIDED IN CD PHASE).
  5. REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
  6. FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULE FOR ZONING AND CONTROL INFORMATION.

- NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE:**
1. GENERAL:
    - REFER TO HIGH EFFICACY (E16) COMPLIANT LAMPS AND/OR LUMINAIRES
    - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
    - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
    - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING.
    - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
      - \* PHOTOCELL & MOTION SENSOR
      - \* PHOTOCELL AND TIME SWITCH
      - \* ASTRONOMICAL TIME CLOCK
      - \* EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK.





L10 - WALL MOUNTED SHIELDED LED FLOOR LIGHT FIXTURE HEIGHT TBD

L9 - SHIELDED LED DOWNLIGHT MOUNTED AT 10' WOOD POLE - FINAL POLE HEIGHT TBD

### LIGHTING CONTROL & ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
[Symbol]	LIGHTING KEYPAD - SINGLE GANG
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - DOUBLE GANG
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - TRIPLE GANG
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING KEYPAD - ARCHITRAVE
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	LIGHTING TIME TOP W/INCH
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED SWITCH (ON/OFF)
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY SWITCH (ON/OFF)
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED DIMMER (DIMMING)
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	WALL MOUNTED 3-WAY DIMMER (DIMMING)
[Symbol]	STYLE/FINISH TBD. REFER TO ENGRAVING REPORT FOR FURTHER INFORMATION
[Symbol]	CEILING MOUNTED OCCUPANCY/VACANCY SENSOR
[Symbol]	TYPE: ST/LEAF/INSH TBD
[Symbol]	DOOR JAM SWITCH (CONTACT CLOSURE/LIGHT SWITCH)
[Symbol]	WALL MOUNTED ON/OFF SWITCH W/ INTEGRAL VACANCY SENSOR
[Symbol]	HALF HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT WALL MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	HALF HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	FULL HOT FLOOR MOUNTED RECEPTACLE (CONTROLLED VIA CONTROL SYSTEM)
[Symbol]	ARCHITECTURAL LIGHTING DETAIL TAG
[Symbol]	NOTES FURTHER INFORMATION LOCATED IN SEPARATE PACKAGE
[Symbol]	EXHAUST FAN PROVIDED BY OTHERS
[Symbol]	(SHOWN FOR CONTROL COORDINATION PURPOSES ONLY)
[Symbol]	LIGHT SYSTEM SYMBOLS: SQUARE W/SHOWN (SQUARE, ETC.)
[Symbol]	LIGHT FIXTURE TYPE TAG (T, L, D, ETC.)
[Symbol]	LIGHT FIXTURE CONTROL ZONE TAG - TWO TYPES (ON SYSTEM & LOCAL CONTROL)
[Symbol]	NUMBER 101, 202, 303, ETC. - LIGHTING IS LOCATED ON CONTROL SYSTEM
[Symbol]	LETTER A, B, C, ETC. - LIGHTING IS LOCALLY CONTROLLED ONLY (LOCAL SWITCH)

**GENERAL NOTES:**

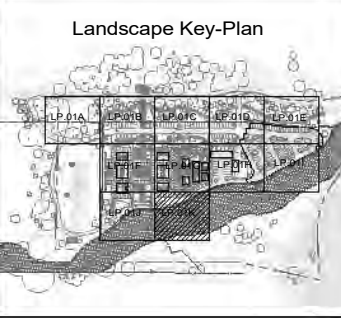
1. **PORT/RECEPTACLE FIXTURES DENOTED "D":** ASSUME ALL LOADS ARE INCANDESCENT UNLESS OTHERWISE NOTED. SEE DRAWINGS FOR ZONING AND CONTROLS.
2. ACTUAL LOCATION OF FLOOR/WALL RECEPTACLES TO BE DETERMINED BY ARCHITECT OR INTERIOR DESIGNER.
3. ALL DECORATIVE SOUNDS, LOCATIONS & PENDANT HEIGHTS TO BE DETERMINED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
4. ALL FAN & OCCUPANCY SENSOR LOCATIONS TO BE CONFIRMED BY ARCHITECT. SEE DRAWINGS FOR ZONING AND CONTROLS.
5. ALL KEYPAD/DIMMER/SWITCHES TO BE GANGED TOGETHER UNDER A SINGLE FACEPLATE (IF SHOWN IN CLOSE PROXIMITY).
6. EXACT KEYPAD/DIMMER/SWITCH LOCATIONS TO BE CONFIRMED BY INTERIOR DESIGNER. REFER TO INTERIOR ELEVATIONS FOR MOUNTING LOCATION.
7. WHEN MLV AND INC LOADS ARE WIRED TOGETHER, USE MLV-APPROPRIATE DIMMER.

**CONTROL SYSTEM NOTES:**

1. **CONTROL SYSTEM** IS DESIGNED AROUND A LIGHTING CONTROL SYSTEM. LIGHTING CONTROL SYSTEM INSTALLER/ELECTRICIAN, CONTRACTOR AND/OR ENGINEER TO VERIFY SYSTEM AND PROVIDE ANNUAL COMPONENTS FOR PROPER INSTALLATION PER DESIGN INTENT.
2. PLAN REFERENCED LIGHTING CONTROL SYSTEM KEYPAD, WALL DIMMERS AND SWITCHES (SELECT SWITCHES ONLY TO BE WIRED THROUGH LIGHTING CONTROL SYSTEM).
3. WHERE KEYPAD, SWITCHES, ETC. ARE SHOWN IN GROUPS, THEY ARE TO BE COMBINED UNDER ONE FACEPLATE.
4. SEE LIGHTING PRE-PROGRAMMING (FOR SYSTEM FUNCTIONS) AND ENGRAVING REPORT FOR ALL FINISHES AND KEYPAD BUTTON ENGRAVINGS) FOR FURTHER INFORMATION NOT REFLECTED ON PLANS. (TYPICALLY PROVIDED IN CD PHASE).
5. REFER TO PLANS FOR FLOOR AND WALL RECEPTACLES LOCATED ON LIGHTING CONTROL SYSTEM.
6. FOR ALL OCCUPANCY SENSORS, LOCATIONS TO BE CONFIRMED BY ARCHITECT/INTERIOR DESIGNER. REFER TO PLANS AND LOAD SCHEDULES FOR ZONING AND CONTROL INFORMATION.

**NOTES REGARDING CALIFORNIA TITLE 24 (2019) COMPLIANCE:**

1. **GENERAL:**
  - **RETROFITTING** TO BE HIGH EFFICACY (JAM COMPLIANT LAMPS AND/OR LUMINAIRES)
  - MANUAL ON/OFF CONTROL REQUIRED FOR ALL SPACES.
  - OCCUPANCY/VACANCY SENSORS ARE TO BE USED IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS & GARAGES.
  - EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING.
  - EXTERIOR LIGHTING TO BE CONTROLLED BY ONE OF THE FOLLOWING:
    - \* PHOTOCELL & MOTION SENSOR
    - \* PHOTOCELL AND TIME SWITCH
    - \* ASTRONOMICAL TIME CLOCK
    - \* EMCS W/ FEATURES OF ASTRONOMICAL TIME CLOCK.





**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L1

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L2

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L2

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L2

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L3

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L3

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L4

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L4

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L4

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L4

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L5

**LED**

Technical drawing of a lighting fixture. The table below lists specifications:

Kenwood Ranch - Winery	Request # 130-01	Date: 09/20/20	TYPE
Customer Review Comment	Issue: 09/20/20 002 (Revised)		L5

**FLAUNT BALL FAMILY**

Technical specifications table:

Item	Material	Finish	Color	Power	Wattage	Height	Width	Depth	Weight
1	Aluminum	Black	Black	60W	60W	12.5"	12.5"	12.5"	1.5 lbs
2	Aluminum	White	White	60W	60W	12.5"	12.5"	12.5"	1.5 lbs

**ALD.07**

Diagram showing a person silhouette and the placement of a single ball fixture and two smaller ball fixtures.

**ALD.07**

**DEL**

Technical specifications table:

Item	Material	Finish	Color	Power	Wattage	Height	Width	Depth	Weight
1	Aluminum	Black	Black	60W	60W	12.5"	12.5"	12.5"	1.5 lbs
2	Aluminum	White	White	60W	60W	12.5"	12.5"	12.5"	1.5 lbs

**ALD.07**

Diagram showing a person silhouette and the placement of three Del fixtures of different heights and widths.

**ALD.07**

Diagram showing a person silhouette and the placement of two 60 Watt fixtures.

**ALD.07**

**60 Watt**

Technical specifications table:

Item	Material	Finish	Color	Power	Wattage	Height	Width	Depth	Weight
1	Aluminum	Black	Black	60W	60W	12.5"	12.5"	12.5"	1.5 lbs
2	Aluminum	White	White	60W	60W	12.5"	12.5"	12.5"	1.5 lbs

**ALD.07**

**ALD.06**

Diagram showing a person silhouette and the placement of a single ALD.06 fixture.

**ALD.06**

**DEL-RSQ**

Technical specifications table:

Item	Material	Finish	Color	Power	Wattage	Height	Width	Depth	Weight
1	Aluminum	Black	Black	60W	60W	12.5"	12.5"	12.5"	1.5 lbs
2	Aluminum	White	White	60W	60W	12.5"	12.5"	12.5"	1.5 lbs

**ALD.06**

Diagram showing a person silhouette and the placement of two DEL-RSQ fixtures.

**ALD.06**

**FLAUNT BALL FAMILY**

Technical specifications table:

Item	Material	Finish	Color	Power	Wattage	Height	Width	Depth	Weight
1	Aluminum	Black	Black	60W	60W	12.5"	12.5"	12.5"	1.5 lbs
2	Aluminum	White	White	60W	60W	12.5"	12.5"	12.5"	1.5 lbs

**ALD.06**

Diagram showing a person silhouette and the placement of a single ALD.06 fixture.

**ALD.06**

Diagram showing a person silhouette and the placement of two ALD.06 fixtures.

**ALD.06**

**PLACEMENT BULB ASSEMBLY**

Request # 750-01 Date: 07/20/21 TYPE  
L11

**SCHEDULE**

Driver LED

Request # 750-02 Date: 07/20/21 TYPE  
L12

**TORQ**

Request # 750-03 Date: 07/20/21 TYPE  
L13

**IC-PH**

Request # 750-04 Date: 07/20/21 TYPE  
L13

**L14 MOUNTED AT STACKED STONE**  
FINAL SPEC TBD  
PENING DESIGN DEVELOPMENT

Request # 750-05 Date: 07/20/21 TYPE  
L14

**L14 MOUNTED AT STACKED STONE**  
FINAL SPEC TBD  
PENING DESIGN DEVELOPMENT

Request # 750-06 Date: 07/20/21 TYPE  
L14

**L14 MOUNTED AT STACKED STONE**  
FINAL SPEC TBD  
PENING DESIGN DEVELOPMENT

Request # 750-07 Date: 07/20/21 TYPE  
L14

**FX**

Request # 750-08 Date: 07/20/21 TYPE  
L14

**CLL**

Request # 750-09 Date: 07/20/21 TYPE  
L14

Table 1: Lighting Schedule (Page 1 of 3)

Type	Quantity	Manufacturer / Model / Notes	Location	Lot	Height	Power (VA)	Notes
11	1	... ..	...	...	...	...	...
12	1	...	...	...	...	...	...
13	1	...	...	...	...	...	...
14	1	...	...	...	...	...	...
15	1	...	...	...	...	...	...
16	1	...	...	...	...	...	...

Table 2: Lighting Schedule (Page 2 of 3)

Type	Quantity	Manufacturer / Model / Notes	Location	Lot	Height	Power (VA)	Notes
17	1	...	...	...	...	...	...
18	1	...	...	...	...	...	...
19	1	...	...	...	...	...	...
20	1	...	...	...	...	...	...
21	1	...	...	...	...	...	...
22	1	...	...	...	...	...	...

Table 3: Lighting Schedule (Page 3 of 3)

Type	Quantity	Manufacturer / Model / Notes	Location	Lot	Height	Power (VA)	Notes
23	1	...	...	...	...	...	...
24	1	...	...	...	...	...	...
25	1	...	...	...	...	...	...
26	1	...	...	...	...	...	...
27	1	...	...	...	...	...	...
28	1	...	...	...	...	...	...