THE WINERY AT KENWOOD RANCH					
LOCATION MAP PROJECT INDEX					
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	EMA RODOZDE 10% - 20% Y 10% - 20% Y 10% Y 10%	EXAMPLE DEFINE OFFECTION EXAMPLE A CONTRACTOR OF ACTION SEE RECORD OF ACTION	A0.00		

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- 2. ALL CONSTRUCTION SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA GREEN BUILDING CODE, 2019 CALIFORNIA MECHANICAL, ELECTRICAL, AND PLUMBING CODES, TITLE 24, FIRE SAFE STANDARDS AND ANY OTHER LOCAL GOVERNING CODES AND ORDINANCES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL DEMOLTION AND ALL NEW WORK NECESSARY TO ALLOW FOR A PINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWING SINCLUSIPE REACHEDESS OF WITHEITER SHOWN ON THE PORVINGS OF MEMOLTIMORE IN THE INTERS, ALL WORK IS NEW, LUDA,
- ANY ERRORS, OMISSIONS OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF THE CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL THE TRADES AND SHALL PROVIDE ALL THE SUBCONTRACTORS WITH CURRENT
- CONSTRUCTION DOCUMENTS AS REQUIRED. THE GENERAL CONTRACTOR SHALL REMOVE ALL BUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR THE SECTION CONTROL OF A STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRECT DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINSHED AREAS IN OR OUTSIDE JOB SITE.
- CONTRACTOR SHALL LEAVE PREMISES AND ALL AFFECTED AREAS CLEAN AND ORDERLY, READY FOR OCCUPANCY. THIS INCLUDES CLEANING OF ALL GLASS [INSIDE AND OUTSIDE] AND FRAMES, BOTH NEW AND EXISTING.
- 8. CONTRACTOR IS REQUIRED TO PROVIDE VERIFICATION DOCUMENTATION THROUGHOUT THE CONSTRUCTION PROCESS AS REQUIRED BY THE INSPECTOR TO CLEARLY DEMONSTRATE COMPLIANCE WITH ALL CALGREEN MEASURES.
- ANY AND ALL DEVIATIONS FROM THE PLANNING DEPARTMENT OR PLANNING COMMISSION APPROVED PLANS REQUIRE THAT REVISED PLANS BE 9. SUBMITTED TO THE PLANNING DEPARTMENT / COMMISSION FOR REVIEW AND APPROVAL PRIOR TO BUILDING PERMITS ISSUANCE.
- 10. GENERAL CONTRACTORS, SUB-CONTRACTORS, ARCHITECTS, AND ENGINEERS CONDUCTING BUSINESS WITH SONOMA COUNTY ARE RECURRED TO MAINTAIN A CURRENT CITY BUSINESS LICENSE.
- 11. PRE SITE MEETING REQURED WITH CITY BUILDING INSPECTOR, GENERAL CONTRACTOR, OWNER OR OWNERS AGENT, SOLLS ENGINEER, GEOLOGIST (F.APPLICABLE), GRADING CONTRACTOR, AND PLANNING DEPARTMENT REPRESENTATIVE PRIOR TO ANY WORK COMMENCING ON THE SITE.
- 12. THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH EXAMINATION.
- 13. LE REQUIRED BY THE BUILDING OFFICIAL SURVEYS SHALL BE PROVIDED BY ALL CENSED SURVEYOR ON STRUCTURES WHICH DEFINE PROPERTY LINES, SETBACKS, DESIGNATED PARKLAND, EASEMENTS, OR STREET RIGHT OF WAY.
- 14. FINAL APPROVAL REQUIRED BY PUBLIC WORKS DEPARTMENT FOR STREET IMPROVEMENTS, CURB CORES, CURBS/GUTTERS, ETC. SEPARATE PUBLIC WORKS PERMIT REQUIRED FOR APPROACH TO DRIVEWAYS AND ANY WORK IN RIGH-OF-WAY.
- 15. WRITTEN DIMENSIONS TAKE PRECEDENCE, DO NOT SCALE DRAWINGS.

And Angle At Diameter or Round Pound or Number

Air Conditioning or Acoustical Area Drain Adjustable Adjacent Above Finish Floor

Approximate Architectural Asphalt Architectural Site Review Board

Aggregate Atternate Atuminum

Board Bituminous Building Block Blocking

Boam Bottom Of Building Paper Between

Cernont Ceramic

ACOUS. ACA ADJ. ADJAC. AFF. AGGR. ALT. ALUM. APPROX. ARCH. ASPH. A.S.R.B.

BD. BITUM BLDG. BLKG. BM B.O. B.P. BTWN

C.B. CEM. CER. Catch Basir C.J. CLG. CLKG. CLR. C.M.U. Control Joint Ceiling Caulking Clear Conscrib Mar

CNTR C.O. COL C.JP CONC Counter Clean-Out Column Conter of Post

COND CONN. Connection

CONST Constructio

CONT. Continuous

CONTR. Contractor Closet

CLOS C.T. CTR C.W.

DBL DET DIA DIM DISP DN DR DR DW DWR DWR

EA.

Concrete Masonry Un

Concrete Condition

Ceramic Tile

Center Cold Water

Drinking Fountair

Double

Diamete

Dimension

Dispense

Dishwashe

Down Door

Drawing

Each

Detail

Existing Exterior Insulation & Finish System

Exhaust Fan Expansion Joint Elevation Electrical

Enclosure Enclosure Electrical Panel Board Equal Equipment Existing

Fire Alarm Forcod Air Unit Flat Bar Full Board Dimension Floor Drain Fire Edinguisher Cabinet Flat Head Machine Screw Flat Head Wood Screw Flath

Hat Hoad Wood Finish Fibture Floor Floorescent Face of Concrete Face of Finish Face of Finish Face of Stud Face of Stud

Fireproof Frame

H.B. H.C. HDBD, HDR, HDWD, HGR, HGT, HM, HORIZ,

HR. H.R. H.W.H. Hour

IN. INSUL

1.0.

Hanger Height Hollow Metal

Horizontal

Handrai

Insulation

Hot Water Heat

Inside Diameter

Expansion Exterior

F.A. F.A.U. F.B.D. F.B.D. F.D. F.B. F.B. F.H.W.S. F.N. FLR. FLASH FLASH FLOSE F.O.F. F.O.F. F.O.S. F.O.S. F.O.S. F.O.S.

16. ALL DIMENSIONS TO AND FROM NEW CONSTRUCTION WHEN SHOWN IN PLAN ARE TO FACE OF STUD, FACE OF CONCRETE, CENTERLINE, UNLESS OTHERWISE NOTED

- GENERAL NOTES 17. ALL DIMENSIONS ON REFLECTED CEILING OR ELECTRICAL PLANS ARE FROM FACE OF FINISH OR CENTER LINE OF COLUMN TO CENTER LINE OF FIXTURE OR GROUP OF FIXTURES.
- 18. ALL VERTICAL DIMENSIONS ARE TO FACE OF FINISH, FINISH FLOOR, UNLESS OTHERWISE NOTED.
- 19. ALL DIMENSIONS NOTED "VERIFY" AND "V.I.E." ARE TO BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION, IMMEDIATELY REPORT ANY VARIANCES TO THE ARCHITECT FOR RESOLUTION.
- 20. INTERIOR WALLS ARE 2X4 OR 2X6 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED AND ALL EXTERIOR WALL ARE 2X6 WOOD STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- 21. CONTRACTOR SHALL PROVIDE ALL SEISMIC BRACING AND HOLD DOWN CLIPS AS REQUIRED BY CODE FOR ALL SUSPENDED CEILING AND SOFFIT RAMING CONDITIONS.
- 22. COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO: IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, GAS LINES, DRAIMAGE LINES, ETC.
- 23. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF THE BUILDING. 24. PROTECT ALL EXISTING BUILDING AND SITE CONDITIONS TO REMAIN INCLUDING UTILITIES, WALLS, FINISHES, TREES AND SHRUBS, PAVING, ETC.
- 25. DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- 26. VERIFY ALL ARCHITECTURAL DETAILS WITH STRUCTURAL AND DESIGNIBUILD DRAWINGS BEFORE ORDERING OR INSTALLATION OF ANY WORK. 27. WHERE LOCATIONS OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE CENTERED IN THE WALL OR PLACED TWO STUD WIDTHS FROM ADJACENT WALL AS INDICATED ON THE DRAWINGS.
- 28. ALL REQUIRED EXITS SHALL BE OPERABLE FROM INSIDE, WITHOUT THE USE OF KEY OR SPECIAL KNOWLEDGE.
- 29. ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE INDICATED ON THE DRAWINGS
- 30. INSTALL ALL FIXTURES, EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- 31. VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC, BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEMS OF WORK
- 32. SEALANT, CAULKING AND FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURERS INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- 33. ALL ROOF DECK PENETRATIONS AND EXTERIOR WALL OPENINGS SHALL BE GUARANTEED BY THE CONTRACTOR TO BE WATER TIGHT FOR A MINIMUM PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK UNDER THIS CONTRACT.
- 34. INSTALL SMOKE DETECTORS IN ACCORDANCE WITH THE SPECIFICATIONS AND IN CONFORMANCE WITH LOCAL FIRE MARSHAL REQUIREMENTS. 35, ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER STRIPPED PER TIFLE 24 REQUIREMENTS, UNLESS OTHERWISE NOTED IN DOOR DETAILS
- 36 GLASS SUBJECT TO HUMAN IMPACT SHALL BE OF SAFETY GLAZING MATERIAL TO MEET STATE AND FEDERAL REQUIREMENTS.
- 37. ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A
- LICENSED LAND SURVEYOR 38. PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, METAL WORK AND CUSTOM ITEMS

- 39. CONTRACTOR IS RESPONSIBLE FOR REVIEWING AND COMPLYING WITH REQUIREMENTS OF SOIL REPORT AS PREPARED BY GEOTECHNICAL ENGINEER.
- 40. CONTRACTOR IS RESPONSIBLE TO PROVIDE PAINT AND STAIN SAMPLES ON SITE PER SPECIFICATIONS TO ARCHITECT FOR WRITTEN APPROVAL PRIOR TO ANY WORK COMPLETED.
- 41. ALL HARDWARE SELECTED FOR THE PROJECT WILL BE REVIEWED WITH THE ARCHITECT AND THE CONTRACTOR WILL PROVIDE SAMPLES UNLESS OTHERWISE NOTED.
- 42. WATERPROOFING SHOWN IS FOR DESIGN INTENT PURPOSES ONLY AND NOT SUITABLE FOR CONSTRUCTION, ALL WATERPROOFING TO BE VERIFIED AND SPECIFIED BY WATERPROOFING DESIGN BUILD CONTRACTOR OR CONSULTANT. MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL NEW EQUIPMENT AND APPLIANCES SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION.
- 44. STRUCTURAL OBSERVATION BY ENGINEER OF RECORD WILL BE REQUIRED AT A) FOUNDATION, B) FRAMING, C) RETAINING WALLS.
- 45. THE PROJECT SHALL MEET ALL THE REQUIREMENTS OF GREEN BUILDING STANDARDS DIVISIONS 5.101 THROUGH 5.508.
- 46. PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY CBC SECTION 1403.2 AND CEC SECTION 150 MANUFACTURER'S INSTALLATION INSTRUCTIONS OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT, PER CALIFORMA GREEN BUILDING STANDARDS CODE 5 407.1
- 47. EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING: PREVENT IRRIGATION SPRAY ON STRUCTURES FROM SPRINKLERS, DESIGN EXTERIOR ENTRIES AND/OR OPENINGS TO PREVENT WATER INTRUSION PER CALFORNIA GREEN BUILDING STANDARDS CODE 5-407.2-1-5407.2.2
- 48. SUBMITTAL DOCUMENTS CONSISTING OF CONSTRUCTION DOCUMENTS, STATEMENT OF SPECIAL INSPECTIONS, GEOTECHNICAL REPORT AND OTHER DATA SHALL BE SUBMITTED IN TWO OR MORE SETS WITH EACH PERMIT APPLICATION PER CBC SECTION 107.1.

		A	ABBREVIATIONS	5				
FT.	Faat or Feet	INT.	Interior	N.LC.	Not in Contract	REFR.	Refrigerator	SQ.
FTG.	Footing	INTER,	Intermediate	NO. or #	Number	RE.	Register	
FURR.	Furring			NOM.	Nominal	REINF.	Reinforced	8.8
FUT.	Future	JAN,	Janitor	N.T.S.	Not to Scale	REQ.	Required	S.S.
		JST.	Joiet			RESIL.	Restient	S.S.
G.	Gas Outlet	JT.	Joint	O.A.	Overall	RET.	Retaining	STE
GA.	Gauge			O.C.	On Center	REV.	Revision/Revised/Reversed	STL
GALV.	Galvanized	KIT.	Kitchen	O.D.	Outside Diameter (Dim.)	BM.	Room	STC
G.D.	Garbage Disposal			OPNG.	Opening	REMOV.	Removable	STR
GEN.	General	LAM.	Laminate	OPP.	Opposite	R.O.	Rough Opening	8.V.
G.F.L	Ground Fault Interrupt	LAV.	Lavatory			RWD.	Redwood	S.VI
GL	Glass	LB.	Pound	PERM	Perimeter	RWL.	Rainwater Leader	SYA
GND.	Ground	LIN.	Linear	PL.	Plate			SYS
GR.	Grade	LN.	Line	P.LAM.	Plastic Laminato	S.	South	
G.S.M.	Galvanized Sheet Metal	LT.	Light	PLAS.	Plaster	S.C.	Solid Core	Τ.
GYP.	Gypsum			PLYWD.	Phywood	S.C.D.	See Civil Drawings	T.B
		MACH.	Machine	PNL.	Panel	S.D.	Storm Drain, Soap Dispenser/Dish	T.B
H.B.	Hase Bib	MAINT.	Maintain	PNT.	Paint	SCHED.	Schedule	T.C
H.C.	Hollow Core or Handicapped	MAT.	Materia	P.S.L	Per Square Inch	SECT.	Section	TEL
HD.	Head	MAX.	Maximum	PT.	Point	S.E.D.	See Electrical Drawings	TEN.
HDBD.	Hardboard	M.B.	Machine Bolt	P.T.	Pressure Treated	SEP.	Separation	150
HDB.	Header	M.C.	Medicine Cabinet	PTD.	Painted	S.F.P.D.	See Fire Protection Drawings	TEF
HDWD.	Hardwood	M.D.O.	Medium Density Overlay	PD.	Paper Towel Dispenser	S.H.	Sprinkler Head	THP
HGR.	Hanger	MECH.	Mechanical	PTN.	Partition	SHR.	Shower	T.M
HGT.	Height	MEMB.	Membrane	P	Paper Towel Receptacle	SHT.	Sheet	T.O

Q.T. Quarry Tik

R RA RAD REC REF

Return Air

Recessed Reference

Radius

Refrigerator	SQ.	Square
Register		
Reinforced	8.8.	Stainless Stee
Required	S.S.D.	See Structrual
Restient	S.S.K.	Service Sink
Retaining	STD.	Standard
Revision/Revised/Reversed	STL.	Steel
Room	STOR.	Storage
Removable	STRL.	Structural
Rough Opening	S.V.	Sheet Viny
Redwood	S.W.	Shear Wall
Rainwater Leader	SYM.	Symmetrical
	SYS.	System
South		
Solid Core	т.	Tread
See Civil Drawings	T.B.	Towel Bar
Storm Drain, Soap Dispenser/Dish	T.B.D.	To Be Determin

SECT SECT SEP S.F.P.D. S.H. SHR SHR SHT SHT

SL. S.K.D. S.L.D.

S.M.D. S.P.D. SP.E.

SPEC

Sliding See Kitchen Drawings

See Landscape Drawing See Mechanical Drawing

See Plumbing Drawings

Specification or Special

Space Event/

Sheet Similar

Uniform Building Code

Unexpanate

U.B.C. UNEXC.

UNF. U.,N.

VAR V.C.T. VEN VERT V.G.D.F V.L.F. VOL

W. WC. WD. WH. WP. W.P. W.P.

WSCT W.S.P.

WT. WR. WW.

Unfinished Unless Otherwise Notec

Varies Vinyl Composition Tile

Ventical Vestical Vestical Vestical Grain Douglas Fir Vestical Grain Douglas Fir Vestiy in Field Volume

With Wall Covering or Water Closet

Without Work Point or Waterproofing

Wood Water Heater

Waterproof Memb Wainscot

Wet Standpipe

Weight Water Resistant Weided Wire

ΗH

80 Ű





DESIGN REVEW REVISED DRC DR/WING

GENERAL NOTES

& ABBREVIATIONS

A0.01

NTS

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RANCH

KENWOOD

WINERY

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EXHIBIT "F" Final Conditions of Approval and Mitigation Monitoring Program Use Permit: Winery: Sonoma Country Inn

Date: November 2, 2004 File No.: PLP01-0005 Gravenoet Banch LLP sin Mark Manner APN 051-020-006, -032, -043, -045; 051-010-013, -017 Address: 7945/925, 7965, 7935, 8025, 7955, 7661, & 7619 Highway 12, Kenwood

If any changes to stans, drawings, documents or specifications required pursuant to eny conditions herein specified, these changes shall be trought to the appropriate department for review and approval prior to any construction or improvements. Also, these changes shall be reviewed by all departments involved in the initial approval of the subject plans, rawings, documents or specifications that are proposed for change.

DATE

BUILDING

The conditions below have been satisfied' BY _____

The applicant shal apply for and obtain building related permits from the Permit and Resource Management Department. The necessary applications appear to be, but may not be limited to, ite review, building permit, and grading permit.

Prior to issuance of any permits (grading, septic, building, etc.), evidence shall be submittedto the file that all of the following conditions have been met.

- 2. A grading permit that be obtained from the Permit and Resource Management Department pro-ty the start of any aethnoid, number aerobated under Appendix Chapter 30 of the California Building content of the start of the permitted of the start of the grading permit meanses. Any start permitted with the start of the start of the start start of the grading permit meanses. Any start person to building applications and permits.
- 3. Prior to practing, Juliang, and the sense based on a size-and project expected scalary level personnels preventioned with the prepared horizon person of the solar contrast to proposed structures with the late. These reports and project a characterization of the solarocci contents as a granular late late and personnels learning design individual as a characterization of the solarocci contents and a project and and a characterization of the solarocci contents are approximate learning design individual as a distance and the solarocci contents are approximately as an individual and a person of the solarocci content and an approximate learning design individual and a person of the solarocci content area. See the solar content and and a constructed and and of the solarocci of the solarocci of the solarocci content and a solar of the development of the solarocci of the solarocci

Ground motions and Unifiem Building Close alla juartiments shall be determined by a separate analysis as part of design-basic postechnical mesolgations for the specific buildings and other proposed structures.

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Winery Conditions of Approval - PLP01-0006 mber 2, 2004 Page 5

- (I) Suspend any activities that cause visible dust plumes that cannot be controlled by watering.
- () Install wheel washers for all exiting trucks or pave project site entrance road prior to initiating construction of the inn or winery
- (k) Provide contact internation and phone number for the person responsible for ensuring these
- II) The applicant shall incorporate the measures tately in Mitaation Measure 5.10-1 in the contracts of protractions or subcertractors performing applicant implemented op

Mitigation Monitoring: PRMD staff shall ensure that the measures are listed on all site after grading, building or improvement plans prior to issuance of grading or building permits. Build impredient kult shall make rowline site impositions to ensure that the measures are implement endowned. mits. Building

DRAINAGE

Prior to Permit Issuance: Prior to issuance of any permits (grading, septic, building, etc.) evidence shall be submitted to the file that all of the following conditions have been met.

- The current a bell is have been satisfied" BY DATE 13. All improvement plans shall establish a setback line along the waterway which shall be measured from the toe of the streamback cutward a distance of 2-12 times the height of the streamback stat 30 from two options are not assumed to be a set of the set
- 14. Downey improvements shall be designed by a triangineer in accordance with the Water Age of the Age of t
- 15. The developer's eighten shall initially a site gialling plan and an erosion control plan as part of the
- 16. Prior to issuance ul grating or fuelding perivals, the applicant shall submit for review and approval of the grading and the damager instrumments, pans necessary for the proposed project. The plans shall also include resister calcular previous and details to prevent damages and minimize impacts to the environment.
- 17. Delineation of the walking wetlands on the Final Mag as well as on the construction plans is necessary. In addition, wetlands protoclosm measures during the construction process shall be on the improvement plans. Appropriate permits from the Corps of Engineers shall be obtained ans is shall be shown.
- Prior to the issuence of a grading parent, the applicant shall file with the San Francisco Bay Regional Water Quality Control Based (SFRRVGCR) a Abstrace of Inset to comply with the Parent) underline MPCES regulations, and comply with the regriments of the Barent Ib near policiton to atm water discharge during construction activities. The General Permit equipant everyopeness and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and implementation of a Siom Viater Parkaton Permit Review Development and Implement Development Permit Review Development and Implement Development Development Development Permit Review Development Develop 18. a. SWPPP shallmeet the following objectives related to construction activities

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Mitigation Monitoring: Prior to grading, building or septic permit issuance the applicant shall the reports to the County ^Jermit and Resource Management Department. County staff will be responsible for ensuring trait the recommendations have been incorporated into the structural of project Reprovements.

- 4. Future design-level geotechnical investigation for proposed leachfield disposal systems or other Future despin-level geotechnical investigation for proposed lauchfield deposal systems or other importenents south of the winery area shaddress the presence or abtence of dispetial solati. Such evaluations shall be performed in accordance with Calibrana Division of Morea and Geology and a strand stranding deposition of the proposal stranding and the strand and programschapedher data and an and importantial and the optimized stranding stranding and advertisal privatility deposition. The stranding stranding stranding advertisal privatility dep dependence in white-specialization should be considered.
- Mitigatilian Manitering: Prior to building, grading, or sepic permit issuance the applicant shall submit the despin-twell gootechnical report as applicable. Courty staff will be responsible for ensuring that the minimum antibions have been incorporated into the despin of project improvements.
- 3 If structures or laptic systems are proposed in the lowland alluvial fan area, the following mean we required to migate ground settlement impacts:
 - (1) Mentify one set anothing through exploratory backaps to determine general sets prefix and characteristics and seed for any ground improvement measures.
- (2) Rework and compart kalls where structures are pictored and such soils are identified in the near

(3) Use drilled pier an alriven pile Numidiations which carry the loads from structures through the hose and tits competent straig. Alternative foundation designs (such as rein also may be considered.

Mitigation Monitoring: Prior to building, grading or assist permit issuance the applicant shall submit the design-level policitifical report as upplicable. County staff would be responsible to ensurement, its - recommendations more beam monitory and in the structural design of programments,

& If structures or sistic systems are proposed near steep banks, future building-specific geotechrical wightightin its development in the lowland area shall determine the presence or absence of the aniliar national algorithms with a potential for seemically-induced ground cracking and biliner by durching. If Control exist, specific induction design or re-working of the colls or other appropriate brings, as Settimmed by the area and site-specific investigations, shall be employed to mitigate the set of the set of

Willasties Manifering: Prior to building, grading or septo permit issuance the applicant shall submit lim design-level protechnical report as applicable. County staff will be responsible for ensuring that It is reserved and project in approach. Course and a sign of project improvements

Puture design-level geotechnical investigation for proposal subcrited integratal systems of other inconvenients such of the view yaras shall address the platitude for level quantity. In yaras other important, grand important maximum shall be implanted as a diversion of yar geotechnical investigations. For shortness, measures such as chemical grands all design darge darge compaction or you registances that build be considered. In your of the formation of an end of the considered investigation.

Mitigation Monitering; Building permit approval in specified arres shall be consilioned on preparation of a design-level geotechnical report.

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Winery Conditions of Approval - PLP01-0006 Page 6

- All pollutant sources, including sources of sediment thatmay affect storm water quality associated with construction activity shall be identified; · Non-storm water discharges related to construction activity shall be identified.
- Rest Management Practices (RMPs) shall be identified, constructed, implemented, and these management in accordance with a time schedule. The maintenance schedule shall also provide for maintenance of post-construction BMPs.

The BMPs shall include a variety of "housekeeping" measures to prevent pollution from building matariale, chemicale and maintenance during construction of the development and infractional Examples of typical "housekeeping" measures to be included in the SWPPP include the following 1. Performing major vehicle maintenance, repair jobs, and equipment washing at appropriate

- off-site locations
- 2. Maintaining all vehicles and heavy equipment and frequently inspecting for leaks:
- Designating one area of the construction site, well awayfrom streams or storm drain inlets, for auto and equipment parking and routine vehicle and equipment maintenance;
- Cleaning-up spilled dry materials immediately. Spills are not to be "washed away" with water or buried; 5. Using the minimum amount of water necessary for dust control
- Cleaning-up liquid spills on paved or impermeable surfaces using "dry" cleanup methods (e.g., absorbent materials such as cat litter, and/or rags);
- 7. Cleaning-up spills on dirt areas by removing and properly disposing of the contaminated solit
- 8. Reporting significant spills to the appropriate spill response agencies:
- secured plastic sheating:
- Properly storing containers of paints, chemicals, solvents, and other hazardous materials in garages or sheds with double containment during rainy periods; 11. Placing trash receptacles under roots or covering them vith plastic sheeting at the end of
- each workday and during rainy weather;
- 12. Washing-out concrete mixers only in designated on-site wash-out areas where the water will flow into setting poreds or onto stockpess of aggregate or sand. Wherever possible, the wash-out will be recycled by pumping back into mixers for reason. The wash-out is not to be disposed of into the street, storm drains, drainage ditches, or streams:
- 13. Applying concrete, asphalt, and seal coal during dry werther. Keeping contaminants from fresh concrete and asphalt out of the starm drains and creeks by scheduling paving jobs during periods of dry weather and allowing new pavement to cure before storm water flows across it;

14. Covering catch basins and manholes when applying seal coat, slurry seal and fog seal; and,

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The following mitigation neasures are required to mitigate significant impacts related to landsliding and slope instability;

(a) Design-level site-specific geotechnical engineering investigation and analysis is required within proposed development improvements. Une specific investigations chait analysis the potential for slope instability, especially where unstable contacts within the volcaric rock may be expected as a result of grading.

(b) Grading and excavation activities shall comply at a minimum with the Uniform Build County of Sonoma standards, and site-specific design orient established in the geotect The geotectical reports shall consider the following measures: orm Building Cod

(1) All fills constructed on slopes steeper than 5:1 (horizontal to vertical), or any fills with a height (1) ALT like contractive on adverse strategies than 3.5 (horizonta to vertical), or any tits with a site optimum train these leadness optigate provident with all the strategies and the strategies to compare than 3.2 and, where stope heights accessed 15 test the film shall be provided with benches and strates detaining exorts. All this hash be registed and the strategies are strategies and the strategies accessed 15 tests the film shall be provided with benches and strategies and strategies accessed 15 tests that film shall be provided with benches and specificate detaining exorts. All this hash be registered and decompeted to at last strate 05 percent relative compaction (as determined by ASTM 0.1557), unless incommended otherwise by the applicant's decompaction at Engineer.

(2) Stopes on the project site shall be improved with ension protection and planted with wegatator. Planted separation shall include native drought televant and fine-realizant protectional for distance and the standard standard set of the set of the protection and or distance standards the interpretation under sources. Draw providence shall be preveded tarrang constances the power standard or distances and interpretation shall be preveded tarrang constances that be prevent the ponting and/or inflated on temporary excession.

(c) Use proper construction, inappetizon, and mamiesance practices to protect against creation of instable slopes. A plan fir the periodic inspection and maintainance of slope stability improvements unitable loops. A pain for the plattice, implication, that maintainable or table statesty improvements, substrains, and incode dates, including investing and devisional material deposition of nationated and Resource Management Desinttend Desinight Research prior to respecting final inspection or issuance of contribution for risk-private. The plane shaft inclusion research opposition for issuance of contribution for risk-private. The plane shaft inclusion research on positional procedures , schedule and reporting individual testimation and the statement of the overall loop terms priority materials. The term respective terms are planed and the statement of the overall loop terms priority materials.

- Mitigation Monitoring: As part of building permit applications for individual built Minganess Methibiologi, in part of building parmit applications for individual buildings comprising the winery and associated incidency, the applicant build submit proofs (a) and (b) build build buildings of donoun a Parmit and Ressurce Management Depariment. The applicant build submit plans so othered in (b) the County of Boorda Parmit and Ressurce Management Depariment Distances Distances Distances Ressurges Review, County stall will be repuised by the recommendations presented in the solar seports have been toorcopred to be by participations.
- 8 Read release adjustent to insyrvation Orwal what has based on design havet geotechnical evolutions of the release of the

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- 15. Parking construction equipment over drip pans or absorbent materials, to capture dripping oil
- and/or other possible pollutants
- b. Also required under the General Permit is the development and implementation of a monitoring program. The monitoring program with include inspections by the applicationeners of the construction site prior to anticipated some events and after actual storm events. During storm events of extended duration, inspection shall be made during each some evens. During scom evens or essence obtaion, inspection stati de macé ouning each 24-hour perior. The inspections are used to identify areas combuting to stom water discharge to evaluate the effectiveness of BMPs, and to determine whether additional BMPs or corrective maintenance are needed. All corrective maintenance and BMPs shall be made as soon as table (provided working nonefform are sate), and all measures explored materials, and rivers shall be available for rapid response. The SWPPP shall also include post-construction me water management practices. Post-construction water quality imposts are mitigated unde Mitination Measure 53.2
- c. The applicant that detain a Soundy General Oroding Inners for all positions of the project in the Sound Courty Inner and Reserves Management Organisment. The gradient general part has advented to current Unione Building Coole and Courty of Sources are equivalent as and shall employ sound construction protectors. The amound of fold applies on the answer to the amount of development and gradient general end source or sharped the share that the reserve Part Sound Sources constructions. sents of the project from
- 4. The applicant's descept plane hash linking a Courty-approved entroise and advanced court plane provides and the applicant's advanced by the FMDD of the same lines as the participal and the applicant plane participant of the applicant plane participant plane plane
- Site construction mactices including restricting grading to the dry season, specifying construction measures that minimize exposure of bare soil to rainfall, wintertzation, traffic control, and dust control.
- 2. All improvement Janes showing development within 100 best of a structure scenario showing the structure of the structure scenario showing the structure structure scenario showing the structure scenario showing the structure scenario scenari
- 3. Existing wellands and the riparian setback shall be delineated on the Final Map as well as or the construction plans
- 4. Designing the acress roads to use the minimum amount of grading necessary. Road grading and construction vithin 100-feet of all streams and major drainages shall be conducted

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Mitigation. Manitaring: County staff will be responsible for ensuing that the recommendations have been incorporated into the structural design of project improvements.

10. Prior to building, grading, or septic permit issuance the project applicant's Geotechnical Engineer comprises to a second reversion second second and advances of the second without the tect by law. Architects d the document

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Mitigation Monitering, County staff will be response anitaring, County staff will be insprinklin for ensuring that the recommendations he also into the systematic design of project encrovements prior to issuance of building. grading or septic settliks

11. Prior to building, grating, an neutric permit issuance. the project applicant shall conduct site-spec Tror to toldarg, parting, are using serrell issues, a He special applicate that control she specific potential is the specific particular set of training and entropy on the specific and training setting and entropy of the specific and training setting setimates setting setting setting setting setting setting set

Mitigatian Monitoring: County staff will be responsible for ensuring that the which into the structural design of project improvements prior to issuance of building. sterling or septic semits

- Dust emissions from construction activities shall greatly reduced by implementing fugitive dust onto manufarm according to BAACMD CECDA publiclines. Any site alteration or grading permit for the energy. The applicant shall nonprivate the following dust control measures in the projects that in valid interpret to the project shall be projected by the project shall be applied to that will be applied and the project shall be projected by the project shall be applied to that will be applied and the project shall be applied by the project shall be applied to that will be applied by the project shall be applied by applie 12 Dust semannes from a
 - (a) Water all active construction areas at least twice-daily and more often during windy periids Active areas adjacent to residences should be kept damp at all time
 - (b) Cover all hauling trucks or maintain at least two teet of freeboard
 - (c) Pave, apply water at least twice daily, or apply (non-toxic) soil stabilizers on all unp access roads, parking areas, and staging areas.
 - (d) Sweep daily (with water sweepers) all paved access roads, parking areas, and steping areas and sweep stretes daily (with water sweepers) if visible soil material is deposited onto the adjacent loads.
 - (e) Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas that are inactive for ten days or more).
 - (f) Enclose, cover, water twice daily, or apply (non-bxic) soil binders to exposed stockpiles

between May 15 and October 15 during the year(s) of construction, and erosion control measures shall be installed by October 15.

6. Weed-free straw or mulch shall be used to cover bare soils during and after construction, and Interesting parts of model and never table of the care care and a grant and the care care of the landscaped and never plated as soon as possible after disturbance. Straw at any bales used for enosion control shall be certified weed free prior to use on the site, in order to prevent invasion exects from antering the site.

Protecting downszeam receiving drainage channels and alamit drains from aedimentation any rotationing addiment on the project site by using all fencity, show belo self-ment barrars, and drop held sediment barriers, diversion dikes and seades sediment trains, and argument.

After each phase of construction is completed, all drainage softwarts and the downsignees receiving channes shall be inspected for accumulated satimed. Where address that accumulated, these drainage structures shall be cleared of dems are segment.

Mitigation Monitoring: PRMD Drainage Review Staff shallwrify their NDI SWPPP & Encolor cartrol measures have been incorporated into building, grading and improvement puins prior is

19. Non-point source water quality impacts from the project will be mitigated with an overall storm water roads Control program. Used the Gauseral Control store, the applicant must develop and Management Pactocke for storm water management dramage and toleways the control store and the project. Mitigation Network 5.31 discusses the management practices applicable to construction activities. The Mitigation Network 5.31 discusses and point must be applicable to construction activities. The MIMPP shall allo contact the following in Micassiant of point-construction pulses.

Identify specific types and sources of storm water pollutants associated with the proposed project devicement and land use to be a stored on the store of the sto

c. Specify appropriate parmanent control measures to be incorporated into overall site developmen and residential designmanagement guidelines to eliminate rny potentially significant impacts to receiving water quality from shorm water runott.

Control measures shall incorporate such things as vegetated bufer strips, vegetated swales, water quality detention basins, in the development restrictions, public education, and other design or source control management practices, as sportises, to mitigate advense potential average quality effects. A program of periodic seecong and clearing of parement shall be implemented. Bweeping materials shall be taken to a lastifiar other periodic bucktors.

Proticonsytution IMPE (hall also include the minimization of last disturbance, the minimization of inspervisor subdices, hasanet of atom water runoff utilizing inflution, detectionheatenics, before diffin, sur of dimension rungsion systems, executing that intervo dans are not connected to a store data sever system, and spopriately designed and constructed energy disapate devices. These main a sever systems will be also point constructions on the management enginements and and are store-statistical with all because constructions to many memory disapate devices. These main a sever systems are stored and the store that the store that the store that the store-statistical store that the store-store that the store-store-store that the store-store that the store-store that the store-store-store that the store-store that the store-store-store that the store-store that the store-store-store-store the store-store-store that the store-store-store the store-

b. Identify the location and nature of potentially significant water quality impacts; and

Using sol stabilization techniques to project all finished yraded slopes from erosio onrow multihing, hit slope benching, crossion control meting, hydrosociding, revege preservation of existing vegetation.

(g) Limit traffic speeds on any unpaved roads to 15 miles per hour.

(h) Replant vegetation in disturbed areas as quickly as possible

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issuance of grading permits.

policies, Arranti 6.2-

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The applicant will be responsible for obtaining coverage under the General Construction Permit prior to commencement of construction activities. To obtain coverage, the applicant must file a Notice of Intent with the SFB/W/GCB. In addition, coverage under this permit shall not occur until the applicant develops an adequate SW PPP for the project.

Mitigation Menitoring: PRMD staff shall verify compliance prior to issuance of grading, building or sector parmite.

- The following miligation measures shall be incorporated into the improvement plans, construction plans and building plans to reduce water quality impacts from construction activities and project volated sworff pollutoxit. 20. The following mitigation me
- a. The applicational review the backlos of the manderup, and allowate water tasks to record inspects of demanders. As Comparing requirements, the average transmission is a set of the set of the set instal and to insure the set of the set of
- b. To reduce increased project alle nuroli inpatts is a late-han-significant lavel. The applicant later popariment, i dramage pile (nchicle) appropriate hydrologic and hydradic information (with minimize charges in poli-development nurol), take parts from, and stream velocities as compared with pre-development conditions. The design calculations shall demonstrate hubble post-development from part unreliable and interaction and the interaction of the post-development from part unreliable. d-development ten-year runoff wou plicable BMPs include the following
- Storm water detention facilities to capture and regulate off-site runoff. Storm water detention facilities shall not be in any natural drainage way (i.e., on-stream);
- 2. Maintenance of the detention facilities shall be included in the drainage plan and shall include
- Bagular inspection, (annually and after each major store) for ancumulated debris, sediment buildup, clogging of intest and outlets, and possible enssion problems; Removing accumulated sediments from the basin on an annual basis (# a dry detention pond s used), and every two to five years (when ten to 15 percent of the storage vourse has been lost) if a wet detention pond is used; and Mow and maintain pond vegetation, and replant or reseed vegetation as necessary p
- 3. Permeable pavements to promote infiltration and minimize runoff; and
- 4. Cisterns, seepage basins, and Dutch drains to infiltrate roof and parking area runoff.
- The drainage plan shall be prepared by a Registered Civil Engineer and in conformance with the Sonoma Courty Water Agency's Plane Control Design Criteria.
- d. All on-site dramage bottoms shall be constructed according to Sonoma County Water Agency's Flood ControlDesign Drivers and the County of Sonema Permit and Resource Management Department summaries and regressment and according to Sonema Permit and Resource Management.

Mitigation Monitoring: County staff will be responsible for ensuring that the recommendations of the drainage gian flavis iteen industriaries lists the project.

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- ondition Compliance; This condition shall not be signed off until the Project Review Health Specialist cerves a final cleaxence from the Liquid Waste Specialist that all required design elements have been met
- The Flow Equilibrium Tami, the Anonie Tami, the Fest Treatment Tami anali be placed underground to control noise. The Enhiner Contact Chamber and the Blower Unit shall be enclosed to control noise. The treatment system must must neet the noise initiations found in the Noise Element of the Sociam County General Plan. Note that this equipment will be placed very close to be properlyine, and noise interface would be cohected at the properlyine in in the event of a noise complaint.

Condition Compliance; This condition shall not be signed off until the Designt Baview Mealth Spec eceives a final clearance from the Liquid Waste Specialist that all required design elements have see med.

common.
40. Gas and others shall be constanted into a collection system and dispersal element underground, with or window carbon films. The Choice Constant Chamser and Gas Collection System (the Blever Hill) (histories displaying monitoring program including second with airres for the approximation system and any presented entering confined spaces in regulard to meet all COSA standards. The implement displaying monitoring systems with the second with airres for the approximation includes package transmission of the standards of the second standards. The implement displaying including second standards are standards and standards. The implement displaying including second standards are standards. The includes package transmission plants, gases and other shall be contended in an underground collection of displays in the standard with displaying and standards. The president of operating second standards are standards and all the implement of the regulated and implement and all presents elements on contended in a displayment to be regulated and implement add all presents elements contended standards. The Displaying and the standards with any contended standards and the regulated the includes and all presents elements contended standards. The standards that measure to be interest and the standard standards presents and the regulated the complete subdivision and nontrol program.

Mitigation Menitoring: Building related permits shall not the invuest by the County unter at the find required design elements have been met. This condition shall not be signed at until the Project Review Health, Spiculatin receives an engineered monitoring plant end written comments from off OSHA consultant

and depth of monitoring wells shall be reviewed under Plan Chook and nemited from PEND

Condition Compliance; This condition shall not be signed off until the Project Review Health Specialist receives a final clearance from the Liquid Waste Specialist that all required design elements have

4.2. Prior to spension the application constant shall proper a very foliable during condition previous maintenance and spension constant shall be according to the parameter spension of the parkage plant. This OMP Manual shall be according to the parameter of the parkage plant. The SOMP Manual shall be according to the parameter of the parkage plant to the constraintenance of operations. Proc the PMOD approval, the CAMP Manual and the according to the parameter of the parkage plant to the constraintenance of operations. Proc the PMOD approval, the CAMP Manual and the according to the parameter of the paramete

Mitigation Menifering; This condition shall not be signed of until the Propert Renew Heath Specialist receives a final detemport from the Lipst Waves Specialist that the amenine DIMP Banua has been receives and asized a Alaxies and laws of the DMP Manual by the pixel lateration is no co-going condition of the Live Permit. See Committy Compares Section who

43. A final letter shall up submitted to Sumona Dourty PRNIC from the patient engineer approvery die of tion, treament, storade, and disposed system

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itions of Approval - PLP01-0006 mber 2, 2004 Page 10

- 21. Prior to susance of permits. We applicately all be responsible for an unbrances of one site developing foculties in a special permits of the permits of the special permits of t preparing the discrupe plan and submitting # to the Discons County Parint and Resource transportent Department, research plan
- Hotection, Monitoring, County ctaff will be responding for unsuring that the recommendations p drainage plan have been incorporated into the grading and building plans prior to issuance of build grading or sequity service.

HEALTH

Prior to issuance of my permits (grading, septic, building, etc.) evidence shall be submittedby the applicant/owner and verified by PRMD staff that all of the following conditions have been mt.

- "The conditions below have been satisfied" BY _____ DATE
- 22. Prior to issuance if building permits, the applicant shall provide the Project Review Health Spe^(a)Bill with the technicity of C. cold and load continuity and events analysis events of a semple of p87 water tested by a State-certified bib. If the analysis shows contamination, the applicant will be required to shall be will per County requirements and re-test flee well.
- Condition Compliance: This condition shall not be signed off until the Project Review Health Specialist receives a copy of the analysis results and they show no contamination. If required, proof of installation of anydevice to remove contaminants must be shown.
- 23. Prior to the issuance of building permits or project operation, obtain a water supply permit or letter of clearance from the State Health Department, Office of Orinking Water if more than 25 persons yer day in a 60 day prior dare served by the water system.
- Prior to building permit issuance, a permit for the sewage disposal system shall be obtained. The system will require design by a Registered Chuid Engineer or Registered Environmental Health specialist and both onlis analysis and percolation testing will be required. Groundwater testing will also be nequired. The sewage system shall meet peak for discharge of the wastwater from at
- Condition Compliance: This condition shall not be signed off until the Project Review Health Specialist receives a final charance from the District Specialist that all required septic system testing and lesign elements have been met.
- 25. Toilet facilities shall be provided for patrons and employees. A copy of the floor plan showing the location of the restrooms shall be submitted to Project Review Health prior to issuance of building parentia.
- Prior to the issuance of any building permits, an easement shall be prepared by a licensed land surveyor and submitted to PRMD for approval, then recorded property to demonstrate legal acc-ss is perpetuity for all austerwater elements, to be installed on an adjucent parcel.
- ndition Compliance; This condition shall not be signed off until the Project Review Health Specialist ives a final a copy of the recorded easement

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- Condition Compliance: This condition shall not be signed off until the Project Review Health Specialist receives a final verification letter from the design engineer.
- 44. Prior to occupancy of anyphase of the project, all of the waste water treatment plant and di facility will have been constructed, approved by the design engineer, accepted by the Veloc & Control Board, and a property trained and licensed California Grade Three Waste Water & Part Operator shall be available for operation.
- Condition Compliance: This condition shall not be signed off until the Project Review Health Specialist receives final verification that all required elements are in place.
- 45. Prior to operation of any retail food facility, a Food Industry Permit must be obtained from the Environmental Health Division of the Health Services Department.
- <u>Condition Compliance</u>, The PRMD Project Review Health Specialist will not sign off this condition until a copy of a current permit is received from the applicant to verify compliance with the requirements of the California Uniform Retail Food Facility Law (CURRF).
- 46. Prior to providing any lood service or allowing any patron/customer food consumption on site, the applicant shall obtain approval from the Environmental Health Desize of the Health Benvices Department. The approval applies to special works nearbineding strands hourds simple and wire tasking, catened services or other sales or services of food or berenges that spoty under the CURTPL regulation.
- Condition Compliance: The PRMD Project Review Health Specialist will not sign off this condition until a letter of approval from the Environmental Health Division of the Health Services has been received.
- 47. The applicant shall engage a qualified sound consultant to produce a sound report addressing the noise impacts of the sewage treatment plant. The treatment plant must be in compliance with the standards listed in condition #59. In order to reduce noise impacts from events to less-than-significant levels, the following measures shall be required:
 - (a) This Use Permit establishes outdoor and indoor noise limits for all special events as follows
 - Minisa Fisinis ... Proving scholar access the Excesse during any 16 minute partot of amplified access shall not exceed T0 dBA at a distance of 50 feet from any oddoor performing group or loudspeaker. Namium interminetel levies at such locationsshall not exceed 90 dBA, and 90 dBA shall not be reached more often than once per hour.
- During indoor events, the exterior Ls: during any 15 minimum period of amplified sound shall not exceed 70 dBA at a distance of 50 ket how the outside face of any wall of the events pavilion building. Maximum intermittent levels at such locations shall not exceed 90 dBA, and 90 dBA shall not be reached nore differ than once per how.
 - Listed below are examples of measures which are available to insure compliance with the noise level limits specified. One or more measures such as theseshould be selected for incorporation into the project plans as the design process continues.
 - (1) Restrict loud events, and/or loud noise sources associated with events, to the interior of the building. The following are examples of noise sources fir which an indoor versue shall be selected.
 - Pop or rock music, whether live or recorded Drum sets, amplified or not Drun tests, ampliese or not Electric musical instruments (for instance those which make no noise unless provided with electrical power) such as electric keyboards, gutars, and synthesizers Groups with more than three brass or three reed instruments.
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27. Prior to builting permit issuance, a Financial Assurance Plan by the developer shall be submitted for review and apprval by PMID and with concurrence from the SERWOCE. The Financial Assurance Plans shall be Plane Reviewed by pravate consultants as well as the SERWOCE and Salas Department of teach Services. Recommendations resulting from State Approx or Peer Review and concurrence by PMID only the interprotect the conditions. The state of teaching and the approximation with the approximation and the origin of the interprotect the conditions. The conditional resultance for approximation and the origin of the interprotect the conditions. The conditional resultance for approximation with the origin of the interprotect the conditions. The transmission of the interprotect the interprotect the interprotect the conditions. The transmission of the interprotect th orded with the property deed

Condition Compliance: This condition shall not be cleared for recording will the Project Review Health Specialist receives a final clearance from the Liquid Waste Specialist that all required financial elements have been incorporated into the plan. This condition shall not be signed off until the Project Review Health Specialist receives a copy of the recorded Financial Assumance Plan.

- 28. Prior to building permit issuance, plans for the treatment and disposal facilities shall be prepared by a Find in outpring period assume, para for the resumm, and stipping to be a start of prepared or Registrard Chill Engineer. An independent engineering consultant, selected by PRIXD and paid by the applicant, shall review the plans. If changes to the plan are summarized, than these modifications hall be incorporated into the design. The design engineer shall inspect the construction and shall and plans. verify that construction was according to plans.
- Condition Compliance: This condition shall not be signed off until the Project Review Health Specialist receives a final clearancefrom the Liquid Waste Specialist that all required design elements have
- Prior to construction, the in value reactivistic treatment and aligned and follows shall demigrate the test setback requirements would be met. This can be accomplished by mobilitying the least-field areas, i.e. where appropriate, the property line may be adjusted to meet the setback impairment.
- Mitigation Maniforing: The revised leachfield plans and lot lines shall be subject to review and approval by the Sonoma County PRMD Well and Septic Section for conformation with settlacs nts prior to issuance of septic permits.
- 30. Prohibit all improvements uch as the proposed mound wastewattir system initials the boundarika of the proposed Dax Tree Peserves. If underground pipelines are constructed in the Dax Tree Preserve, executions shall not occur within the driplene of valley stat unites the temfine afforcer determines that the excavation will not significantly impair the health of the tree. Second 16.0
- Mitigation Manifering: The Project Review Health Specialist shall ensure that all wastewals facilities are either locate public the Chil You Bond facilities are either locate outside the Oak Tree Preserves or that an arborist's report prepared and that it concides that the installation of the facility will not have the trees. rves or that an amorial's report has bee
- 31. Prior to builting permit issuance or prior to building occupancy. I hazardous waste is generated or hazardous materials acted, then the applicant shall compy with hazardous waste generator laws and AB2105 requirements and oblinia a permit or approval/from the Carrisde Unifed Program Agency (CUPA) or the participating agency. (Additional information and less may be required).
- Condition Compliance: This condition shall not be signed off until the Project Review Health Specialist receives a copy of a letter of approval or a current permit from the responsible agency.
- 32. Prior to the issuance of building permits and the start of any construction, plans and specifications for any retail food facility must be submitted to, and approved by, the Environmental Health Division of the Health Services Department. Contact the Environmental Health Division at 556-5544 for information.
- Condition Compliance: The PRMD Project Review Health Specialist will not sign off this condition until a latter of approval has been received from the Environmental Health Division to verify compliance with requirements of the california Unition Retail Flood Facility Law (CURFFL).

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- - (2) To ensure that the building would provide sufficient noise reduction when needed, the tions shall be initiated
 - deving conditions shall be instanded. Keeps window closed and open doors only briefly as needed to permit entry and exit during indoorevents. Goostwort the skulding ski doolse fossed assemblies, fan toample plad wolfs with gypown board on interior faces and plywood or ceneral plastie outer faces. Other proven mithods of note increation.
 - (3) Provide a permanent outdoor loudspeaker system vice a permanent outpoor outpoearer system Outboor levels of amplified noise shall be controlled by a specially designed amplification cystem installed so part of the project. The localization and the placed to minimize noise propagation to surrounding garcels, and an elevel nice instel devoid to attract to prevent excessive levels. Users will be required to utilize the on-site system, rather than a tempory system for a particular event.
 - (4) Sound Barriers and Barrins Controct toke walls around the outdoor activity area, creating an enclosed patio. Noise walls shall be designed to control noise from couldon sources. To obtain substantial registration of the state registration. The state shall comprise registration and state of the original area. The locations of any pages shall be chosen to minimize noise leaks toward the closest noisesentive areas.

(b) Special events at the winery facility shall be restricted to:

ys: 7.00 p.m to 10.00 p.m. ys: 9:00 a.m. to 3:00 p.m. and 7:00 p.m. to 10:00 p.m. (A maximum of six special events may starbefore 3:00 p.m. and end after 7:00 p.m., but no event shall conclude between hear hours.) Sundays: 9:00 a.m to Noon and 7:00 p.m. to 10:00 p.m. Only wine tasting dinners are permitted.

(Note: Special events shall not start before or end after the times stated above.)

- (1) A note shall be placed on the final map as follows:
- foor events with music could occur during daytime and evening hours og 36.103 fimar per 7. Noise associated with the special events may be audible in nearby residential area.
- (2) The CC&R's for he residential lots shall require a disclosure at the time of edga advising of the proximity of the events and the fact that outdoor events with music could occur during dayllese and evening hours up to 20 times per year.

(d) Monitoring Reports

(1) During the initial 2 months of operation, at least six events shall be monthored to ensure compliance with loast least lensis described in condition K58. The events seturates ini-outsore electronically another multicity. The monthore insult he performed by a suchlish probascinal with a conventional noise level matter having an Awaything for and a "listing reportse setting", at least three cases, an independent source shared explored to consistent at the performance of the conventional noise level meter having an Awaything for and a "listing reportse setting", at least three cases, an independent source shared explored to consistent of the conventional noise level meters and the setting of the constant of the set of constant and the constant of the conventional noise level meters having an Away the setting for an a first performance of the conventional noise level meters having an Away the setting for an and "listing performance of the conventional noise level meters having an Away the setting for an and the performance of the conventional noise level meters of the setting of the conventional the performance of the conventional noise level meters and the setting of the setting of the conventional noise level meters and the setting of the s perform the mo own the monitoring. During these events, proper monitoring procedures Mail fer onstrated to he event operators. A written report of the monitoring results shall be midde to the County Permit and Resource Management Department.

tions of Approval - PLP01-0006 Winery Cond November 2, 2004 Page 12

 Prior to building permit issuance, the applicant shall submit a design for trash enclosures and recycling areas for reviewand approval to the Division of Environmental Health. (Fees may apply.) <u>Condition Compliance</u>: This condition shall not be signed off unit the Project Review Health Specialist has reserved a copy of an approval letter from the Salid Waste Bustlen of the Division of Environmental Health.

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- 34. The winery wastewater treatment and disposal systems shall be designed to provide adequate ates. These processed buildings leaved harve to be recorded or removed to accommodate the atea. The design of the sease-water spikers afted be submitted to the County for review and

Minuation Moniterray: Building related provide sharing the issued by the County until all of the

35. To control noise, tack up generators, and the bioset and for the wastewater systems shall be enclosed or otherwise taffect for soundprinting. Design of the wastewater systems shall be submitted to the County for review and apprival. The system shall be designed and built to be it complance with commend #5.

Mitigation Monitoring: Builting retailed parents shall not be issued by the County until all of the required design elements have been net, naise mitightish designs have been reviewed and approved, and an engineered monitoring program and written upmments from the OSHA consultant have ireen

Prior to Building Occupancy Evidence chait be submitted by the applicant and verified by PRID staff that the following conditions have been met:

"The conditions below have been satisfied" BY DATE 36. Prior to building occupancy, all wastewater plumbing shall be connected to a sewage disposal system that has been constructed under permit for the proposed use by the Well and Septic Section of ha

<u>Condition Compliance</u>; This condition shall not be signed off until the Project Review Health Specialis receives a final clearance from the District Specialist that all required septic system testing, desgin elements, construction inspections and any required operating permits have been met.

37. For a mound, pressure distribution, tifed land, or shallow sloping sewage system, the applicant nust sub-mit to the Project Review Health Specialist the approved from Declaration of Heatrictions with eithers a Grant Declaration Declaration of Legowal by the Project Review Health Specialist of the Draft Declaration of Restrictions from shall be obtained prior to signature and inexization.)

tank/anoxic tank, reatment unit, and pumping to and from the pond and irrigation system per the Liquid Waste Specialist letter of June 12, 2001.

Mitigatian Manifedea: Prior to the lawance of a building permit for the winery tasting room the appoint that want is given threeging how the noise limit exclusive in Mitigation Massave 8.1-11, the second second

49. An on-going nuisance oder monitoring and remediation programshall be prepared and submitted for review and approval printrib issuance of septic permits. It any other compliants are received by Sonoma County related to the package treatment plant or septic disposal system, the owner/operator shall immediately activat the nuisance odor remediation measures and take whatever additional

easures necessary to render odors to non-detectable levels. All facilities shall be operated to

Statistical Statistical Statistics This is under an other index of our of the TP and T

Condition Compliance: Overation of the Equid waste disposal system within the parameters set by the San Francisco Bay Regional Water Quality Control Board and the operational permit is an on-going

Condition Compliance: This condition shall not be signed off until the Project Review Health Specialist receives a final clearance from the Liquid Waste Specialist that all required design elements have been met. After the Initial design, this becomes an on-going condition.

Wastewater samples shall be collected, tested, and reported at he frequency required by the SFBRWQCB and the Operational Permit from PRMD.

51. Prior to entering the leach field the effluent shall meet all SFBRIVGCB Waste Discharge Requirements, including iffluent limitations for Nitrate Nitrogen, 5 Day Biological Oxygen Demand (BOO), Disolved Oxygen (DO), Suspended Solids (SS) content Total Coliform and Feal Coliform

Condition Compliance: Menthly reporting to PRMD is an on-going requirement 52. All wastewater shall always be discharged subsurface to an approved leachfield system within the approved areas of vineyards and restricted landscaping areas and meeting all county and SEREW/COE Standard Steharis (in while, to property lines, builtions, etc).

53. The 'FAST' system shall be operated, maintained, and monitored by a California Lice The "HAST" system shall be operated, manifasied, and monitored by a Califormia Licensed Grade Three Waste Waster Treasence (Float) Operation (Grade Sol Operator) and shall be under a valid Operational Permit with the County. The Grade 3 Operator shall namatin all components of collection, featuremin, and spoad, and shall have accounts to all mellioning records. To ensure proper operation of the "FAST" system, the applicativoener shall perform regular monitoring of the influent and effacted from the airroganisation beamder system. Specific monitoring requirements will be the standard state of the state of t

Compliance with the following conditions is required for as long as this use continues

48. A safe, potable water supply shall be provided and maintained

Permit and Resource Management Department

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prevent nuisance odors.

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38. Back up power is required for the collection elements (prinder pump

without the feed by law. Architects of the docume part at any

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established in the WDRs adopted by the Regional Board. They are anticipated to include the tolkwingi influent and effluent flow rates, BOD (20. C. 5-day), TSS settleable solids, total Kieldahl nitrogen. nitrate-nitrogen, p-4, and total and fecal coliform organisms.

The application of the property a previous complex prepare, and install mentaling wells, approximation of descriptional of the proposed commercial washeather deposed areas subjects to provide in the Reputer Description of the proposed commercial washeather deposed areas and provide in the Reputer Description of the proposed commercial washeather deposed areas and provide the Reputer Description of the proposed commercial washeather deposed areas provide the Reputer Description of the proposed commercial and the provide the Reputer Description of the proposed of the proposed of the provide the Reputer Description of the proposed of the provide the Reputer Description of the provide the provide the Reputer Description of the provide the provide the provide the Reputer Description of the provide the Reputer Description of the provide the

Wastewater and groundwater monitoring data shall be populded and analysed in monitoring reg the County and Regional Board. Monitoring reports shall include all water classity monitoring performed, and water be shown to the County monthly the information administration to the Regional Board according to the adopted schedule in the WDRs.

Mitigation Monitoring: Staff from PRMD and SFBRWQCB shall review these reports to ensure

 The Grade 3 Operator shall be given authority to case desposal of wastewater ethneses (concilor appear to not med requirements. The Grade 3 Operator shall be required to isomerulate wetfailty and in writing within BFIRM (CG and PRN) when operational conductors to not meet requirement any other reporting requirement specified in law or required by a Waste Discharge Requirement(see the SPB/RPQCB.

Condition Compliance: Operation of the liquid waste system by a California Licensed Grade Thrue Waste Water Treitment Plant Operator is an on-going requirement of the Use Permit.

5.1 To insight ingots is groundwarf usely, the property TAST instrement presented in the object of the object o

Mitigktion Mentifying: The revised design shall be submitted to the County and reviewed by an qualified engineerito assure the system would meet the required concentration prior to issuance of permits to construction of the system.

58 The encise septemeter collection, treatment, storage, and disposal system for Sonoma Country on shall have a visid Speciational Permit, issued by PRMD. The owner must agree to the Operational Mixing Domitions including an Easement Agreement, solvenital of a monthly Section minimizing importing program (due by the 15th of each month), and payment of all related yearly fees.

Condition Compliance; Disposal of Equid waste within the operating parameters of the permit, and maintaining the operating permit, is an on-going condition of the Use Permit.

57. The Winery facility will be subject to a Mandatory Closure Agreement in the case that public health The Winny facility will be subject to a Mandatory Closure Agreement in the case that public heads confidence may are any providented constraintedion confidence accurs, such as the content limited to failure. It is a provident of the substantiation of the substantiation of the substantiation of the failure. It is a discussed on the substantiation of the substantiation of the substantiation of the maximum substantiation of the substantiation of the substantiation of the substantiation have been successfully mitigated, and fee's and files have been paid for. This agreement shares paraved for recording and substantiation for review and aground by PMDD profit to issume of builtings.

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ns of Approval - PLP01-0006 tber 2, 2004 Page 21

- vide for the right to cross the property as necessary for the purpose of constructing the trail via a ded easement in favor of Regional Parks.
- 70. Prior to recordation of the Final Map or development of the winey alte, the applicant shall grant to Regiment Partie des rights was "Nove 7" to exercise the twick sectorities, maintenance and emergency access. Il construction on the winey a glassing prior to the recordation of the Final them, the applicant shall provide for the right to use "Nove A" to access the tail for operations, maintenance and emergency access in a decided access the tail for operation. fation of the Final Mag
- 71. Prior to recordation of the Final Map or development of the winey site, the applicant shall enter error to recellations of the Frank Lang of development of the weight, the applicant solution effort weight and the second solution of the second solution of the second solution of the assessment to Hold Noustain Regional Park. The County Regional Parks Department shall be executed to Associate the second solution of the infinite to accompatian as Notwarian baland solution, but in or case shall be least han 15 feet wide. Selection of the trail easement in the vicinity of the population of Ceanothus sonomensis shall be coordinated with the California Department of Fish and Game. If construction on the winery starts prior to recordation of the Final Map, then the trail easement shall be made via a deeded easement in finder of the Sonoma Courty Regional Paris Department.
- 72. Prior to recordation of the Final Map the applicant shall grant a public access easement for the trail head parking bit located in the winery parking area and access to the parking area across 'Road A' from Highway 12 to the parking area. If construction on the winery starts prior to recordation of the Pinal Map then access italized A' affait is initiate via is deed assement granting public access. over this portion of the rust
- 72. Regional Parts shal Janga the Yali. The Applicant and Expension and coordinate efforts with Regional Parts in optimation of the expension of the end of the en

Prior to Building Occupancy-evidence shall be submitted by the applicant and verified by County staff that the followings and linns have been shall

"The colditions below have been satisfied" BY

74. The appropriate shall construct a trail head parking lot with more for body whicle spaces including one . Dra applicatel shaft positivit a hani head parking bit with room for heavy website spaces includes poet for aliability gathing. In addition, the serving lot shaft accompadiat a minimum of their vehicle-plase instruments of the service structure and the service structure structure structure structure structure structure to incorporation the sill designated parking. This parking is it shaft to consistent at the sing of doublished all the access in parking. If shaft shaft is for structure st

DATE

Militation Mentioning: County staff is responsible for reviewing the adequacy of the revised parking

75. The trail shall have visible signage at Highway 12 and the parking lot that clearly identifies the trail as publicly accessible and part of County Regional Parks system. Regional Parks shall supply the signa Signs shall be installed at the time of completion of the trail.

Operational Conditions

"The conditions below have been satisfied" BY _____ DATE

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permits. Said agreement shall be recorded prior to requesting feal inspections or iss certificates of occupancy. This agreement will be an on-going operating condition of the Use Permit.

Condition Compliance, This condition shall not be signed off until the Project Review Health Specialist centres a final observed from the bisard Winete Becalabilitharthin Mandehry Giosere Agreement has lawer included, accepted and a popy of the rescricted agreement from been received.

All Davalationary of the site shall not exceed the available catalog of the leachfields as proposed, unless It is shream that the site can provide additional sepacity for teachfield disposal according to the Count (BOARDARDARDA THINK S. S. S.

Mitigation Monitoring: Project approval should be conditioned on incorporating Mitigation Mess 5.4-3 into the subdivision conditions. The revised leachfield plans and foil lines shall be subject to review and apportal by the Sonoma County PRAID Well and Septic Section.

59. Noise from operations at the facilities shall be controlled in accordance with the following standards

Category	Cumulative Duration of Noise Event in Any One-Hour Period	Daytime 7 a.m. to 10 p.m.	Nightime 10 p.m. to 7 a. ⁿ
1	30-60 minutes	50	45
2	15-30 minutes	55	50
з	5-15 minutes	60	55
4	1-5 minutes	65	60
5	0-1 minutes	70	65

A. If the ambient noise level exceeds the standard, adjust the standard to equal the ambient level

- Reduce the applicable standards by five dBA for simple tone noises, noises consisting primarilyof speech or music, or for recurring impulsive noises.
- C. Reduce the applicable standards by 5 decibels if they exceed the ambient level by 10 or more

80. Groundwater elevators and quantities of prountwater extracted for this alle shall be monitored and reported to PRMD pursuant to section RC-3b of the Sonorra County General Plan and County policies. Groundwater use shall be limited to 19.4 acre-feet per year, and shall not include the use by the residential patch.

PUBLIC WORKS

Linite

Prior to issuance of iny permits (grading, septic, building, etc.) evidence must be submitted by the applicant/owner and verified by PRMD staff that all of the following conditions have been n

"The conditions below have been satisfied" BY DATE

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76. The applicant shall provide Regional Parks with a copy of the vegetation management plan for fill property as it would relate to the trait easement areas and Lot 11. The trait shall not be used and "frequenced to protect development on the site. Recional Parks is responsible why for the second parks is responsible. maintenance of the trail as a multi-use public trail

DEPARTMENT OF EMERGENCY SERVICES

Prior to issuance of any permits (grading, septic, building, etc.)evidence shall be submitted vy the applicant and verified by County staff that all of the following conditions have been met.

The conditions below have been satisfied* BY _____ DATE

7.7. Point for USP Normal implementations are where vegetations management plans for the owned prepare shall plans for each mean characteristic and building develope a total the scontibute to UCE prover building points for each mean characteristic and the scontibute to UCE prover building points for each mean characteristic and the scontibute to UCE prover building points for each mean characteristic and the scontibute to UCE prover building points for each mean characteristic and the scontibute to UCE prove building points and the scontibute to UCE point points and p

<u>Condition Monitoring</u>: The Department of Emergency Services shall review the vegetation management plan and implementation of the plan. The Use Permit shall not be implemented until DES has appreciation management plan and signed-of for occupancy.

78. Access to the site shall need the standards and requirements for read-widths and paving, bridges, convers, paths, brunds, profes, turning trains, turning trains, turning the standards and brance as top-clieft the Uniter Molinger Code, and Vegetter Management Filamonia Requirements, as accessary. The access read to the ins shall be constructed to contenercial standards, which dreverys to individual readom standards for reades.

<u>Condition Monitoring</u>: The Department of Emergency Services shall review the plans to ensure they meet their requirements. Inspection of roadway installationshall be carried out by DES and hey meet their requirem luilding Inspection staff.

70. The water much for fee contention shall be developed in accordance with National Fire Box Association Standards and Sonoma County requirements. Fire sprinkler systems shall be installed in all structures per current regulations.

Condition Monitoring: All permits shall be reviewed for compliance with fire codes.

- 80. Fire hydrants shall be installed in accordance with the standards in effect at the time of construction of the roadways and other improvements.
- Condition Monitoring: The Department of Emergency Services shall review and approve the location and type of fire hydrants prior to issuance of any permits. 81. Non-flammable roofs shall be used on all structures onsite.
- Condition Monitoring: The building plans and construction shall be reviewed by the Depu Emergency Services to ensure that the materials used meet this requirement.
- Prior to Building Occupancy evidence shall be submitted to the file that the following conditions have been me

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nber 2, 2004 Page 19 61. The Developer shall obtain a State of California Encroachment Fermit before making an

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- improvements or constructing any driveway (or intersection) with State Highway 12 and shall construct the improvements (driveway or intersection) in accordance with Caltrans Standards.
- Miligation For shell to speld to the Gounty of Genema, so required by Section 26, Article 56 ma County Code, inclusive before issuance of any building permit which results from of the So approval of this application

63. If the winery is constructed prior to recordation of the Final Map the following co If the wavely is clarificated point to recollable of the Frask Map the Molecov genetics what apply model to the set of the second seco addresses a significant cumulative traffic impact that is area specific and not related to the Controller Taffa Ingac Tean, the application are entroller as emboursement apprecent with the control is also memory and the advactation of the output of the applications are developed in the first hard second and the second and the second and the second and the first hard second control and and the second and the second and the first hard second and the second and the second and the second and the first hard second and the second and the second and the second and the first hard second and the second and the second and the second and the first hard second and the second and the second and the second and the first hard second and the second and the second and the first hard second and a second and nation remote the second and the independent that them are not the titue partial emboartement for the leasts of this implementation and that the partial and conduct in the double. Countywide Traffic Impac Fees, the applicant may enter into a reimbursement agreement with the

Prior to building occupancy all improvements shall be completed and documentation submitted to PRMD from California indicating that the improvements have been accupted.

Mitigation Manifering: The applicant shall submit documentation from Calvants (or other there or Regional Agency) to PRMD that all permits required to complete the improvements have been inkined

44 Alternative allogical instances were developed in the FER. If the application unable to install the formation to the tables of polytopic network polytopic instance and the formation of the application resource polytopic instances. The application resource polytopic instances are polytopic instances and polytopic instances are polytopic instances. The application resource polytopic instances are polytopic instances are polytopic instances. The application is applied in the application instance instances are polytopic instances. The application tables are polytopic instances are polytopic instances. The application is applied in the application instance is an application instance instances are polytopic instances. The application is applied in the application is applied instances and polytopic instances are polytopic instances. The application is applied instances and polytopic instances are polytopic instances. The application is applied instances and polytopic instances are polytopic instances. The application is applied in the applied contract, the application is applied instances and polytopic instances are polytopic instances. The applied contract is applied instances and polytopic instances are polytopic instances. The applied contract is applied instances and polytopic instances are polytopic instances. The applied contract is applied instances and polytopic instances. The applied contract is applied by applied contract, the applied contract is applied by applied contract instances are polytopic instances. The applied contract instances are polytopic instances. The applied contract instances are polytopic instances. The applied contract is applied by applied contract, the applied contract instances are polytopic instances. The applied contrest instances are polytopic instances are the amining of instantial taffic projected to 2012 in the traffic study completed for the project EIR

Mitigation Monitoring: The County shall estimate costs and the amount of contribution these funds prior to issuance of building permits or prior to recordation of the Final Map. butions and collect

65. Alternative mitigation measures were developed in the FEIR. If the applicant is unable to install th center turn larse the following mitigation measure goes into effect. The project applicant shall inst the following of the involvements prior to occupancy, unless it is determined that cubic agency. the following off-site improvements prior to occapancy, unless it is determined that public agency assistance is necessary. If courty assistance is adominion encosary to carry out this condition, than the applicant may pay to the Courty the cost of the following improvements prior to insurance of building permits. The applicant work the responsible for comprehensible grows many control of the standard of this mitigation (subject to a reinforcement agreement as outlined in Condition 8.0 above). This is required prior to modifying the Final May. Never, if construction on the linit is bailt where it is the standard of the standard of the final standard of the standard of the

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tions of Approval - PLP01-0006 iber 2, 2004 Page 23

82. Knox locks or boxes to facilitate emergency access shall be installed as required by DES and the Kenwood Fire Department. This equipment may be obtained through the Kenwood Fire Department.

Condition Monitoring: The Building Inspection Staff and Kenwood Fire Department shall approve installation of the Knew lauks in Seaso prior to suscepting of any fulfillings on the alter.

83. Development on this namel is subject to the Scrooma County Fire Safe Mandants and shall be Development on this parcel is subject to the Secona County Fre dark fundaries and shall be reviewed and approved by the County Fine Manhall Count Fine Protection Darks. Said plan shall include, but not be trinked to: energency vehicle access and furn-ation at the building site(s), addressist, water storage for fine fighting and the treaks instantaneon and and at storctures. Prior to available, writing the storage for the provide the provided to provided to provide the provided to provided to provide the provided to provided t

PLANNING:

'The conditions below have been satisfied' BY

84. This Use Permit is for a 10,000 case per year winery, open to the public with tasting soon, retail wine sales, and 20 spocial events per year with a maximum of 200 persons in attendence. Events will include weekings, meetings, winervake drivens, and of dartatele auctions and the like. The winery complex shall not includes events pavilion or separate at galaxy but at and sales of wine related famm any occur within the stars more. The winery clutelings and executions a forflows: Winery Winery here any even which the Large reserve the whore you'regine an exceeder as follows. Wherey both the for taking, a least and an grainer prevent strange (2-50 secars feet), femeration building (2-00 secars feet), where officer (2-50 secars feet), kinnigar and neckmanal building (b0 secars maximum) is included in the winary asso. The condition (50 secars feet) femeration (1-50 secars by 6 employees and bas. (57 secars basis) is the condition (50 secars) is secard by 6 employees and bas. (57 secars basis) is the parking (1-bit basis) table in the secars and for separate for which plans table parking is serve the parking to fail.

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Enantial avants at the winery facility shall be restricted to

- days: 7:00 p.m. to 10:00 p.m Weekdays: 7.00 p.m to 10.00 p.m. Saturdays: 9:00 a.m to 3:00 p.m. and 7:00 p.m. to 10:00 p.m. (A maximum of six special events
- Sundays: 9:00 a.m. to Noon and 7:00 p.m. to 10:00 p.m. Only wine tasting dinners are
- (Note: Special events shall not start before or end after the times stated above.)
- 45. The use shall be constructed and operated in conformance with the proposal statement prepared by Common Ground Land Parning Services, deal December 2000, with Amendment II dated Aguat 15, 2001 and Adondmart 2 cades Periouny 2002, and the insingharistacurus tas plan included in the project IIR prepared by Nichola Bernan Environmental Planning dated May 2003 except as modified by the following condition.
- 86. The applicant shall pay al applicable development fees prior to issuance of building permits
- 87. The applicant shall pay whin five days after approval of this project to the Permit and Resource Management Department a madetory Notice of Determination tiling fee of \$35 for County Clerk not the media payable to Sonoma County Clerk and a submitted to the Permit an Resource Management Department), and \$850 because an EIR was prepared, for a total of \$855. This fee must be paid or he approval of this project is not valid.

CDH 65545

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Winery Conditions of Approval - PLP01-0006 November 2, 2004 Page 24

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necessary, adequate alternative parking is provided.

prior to recording the Final Map, the cost of these improvements shall be paid prior to building permit

(1) Widen Randolph Avenue sufficiently to provide a right turn lane. Review design of the

(2) Widen Lawndale Road to provide a second northbound approach late to SR 12.

(1) Prohibit parking of construction vehicles anywhere other than on-site.

Mitigation Monitoring: The County would be responsible for determining if the improveme completed by the applicant prior to leasance of building permits and collecting funds if there improvements cannot be feasibly carried out without public agency assistance.

66. The applicant shall be responsible for preparing a construction traffic and parking control program to be carried out during construction and submitted to PRMD prior to issuance of grading, building or septic permits. The program shall be listed on all grading and construction plans and shall include the following elements:

(2) Plan for cean-up of any spills or debris along the construction truck delivery route.

Prohibit parking within the driptine of eah trees and installation of protestive foraing priof ID issuance of grading, building or septic permits. Installed 3/3-40

Mitigation Monitoring: County staff shall review the grading and construction plans to ensure hat an adequate staffs control plan has been incorporated and shall conduct periods inspections dring construction to ensure compliance.

Prior to issuance of my permits (grading, septic, building, etc.) evidence shall be submitted by the applicant/owner and verified by County staff.

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- come years to reconducton of the Final Map. If construction on the winery starts prior to recordation of the Final Map. If construction on the winery starts prior to recordation of the Final Map. Use the start of the Soloma County Regional Parks Department.

69. Prior to recordation of the Final Map or development of the winery site, the applicant shall gram Regional Parks the right to cross the property as necessary for the purpose of constructing the construction on the winery is planned prior to the recordation of the Final Map. Then the applica

80. Prior to issuance if permits, the applicant shall submit to the Permit and Resource Management Department a depart of \$1,478 towards the cost of monitoring compliance with conditions and Mitigation Monitoring. PRMD staff will provide an estimate of costs at the time of application for building permits.

89. This "At Cost" entitiement (PCAS # 6314) is not vested until all permit processing costs are p Additionally, no grading or building permits shall be issued until all permit processing costs are

90. The applicant shall include these conditions of approval on a separate sheet(s) of blueprint plansets to be submitted for building, grading and septic permit applications.

Prior to Sullify permit issuance or prior to exercising this approval, whichever comes first, the property owner(s) shall execute and record a right-to-farm declaration on a form provided by PRMD

(92) A declaration shall be recorded on the property to notify potential future bayers of the Inn or Winery parcels that they will be recorded to provide employees for the wheny with the following notification a

Planar he artified that this facility is located near agricultural operations on agricultural lands

nber 2, 2004

Operational Condition

REGIONAL PARKS:

CDH 66846

"The conditions being have been satisfied" BY

67. No parking will be allowed along Highway 12.

The conditions below have been satisfied' BY

issuance. Impact 5.2-5.

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Miligation. Maniltaring: The applicant shall provide the project planner with a copy of the recorded declarations and the forms to be provided to employees prior to building permit issuance.

93. The following measures shall be incorporated into development plans prior to issuance of permits to mitigate potential impacts on sensitive natural communities:

- a. Revise the proposed development plantentative map to avoid disturbance to the sensitive natural communities. At minimum this shall include: Prohibit readway mprovements any closer to Graywood Creek than the edge of the existing road where improvements would be within 50 feet of the top of bank unless it can be demonstrated that making those improvements will read it in less it mand. It have vegetation
- Use retaining wals and other methods where feasible to minimize tree removal along Road A through the Graywood Creek corridor.
- 3. Prohibit all improvements such as the proposed mound wastewater system inside the boundaries of the proposed Oak Tree Preserves. If underground pipelines are constructed if the Oak Tree Preserve. accasultion shall not excern with the defailer of Valive sats unless to certified arborist determines that the excasultion will not ignificantly impair the health of the
- 4. Expand the proposed Qai Tree Preserves to include creation of additional valley calk habitat simple to boundry of the wise east of the proposed includes preserve and extending to the problem of the theory of the set and the proposed includes and the proposed proposed and the proposed proposed and the proposed proposed proposed and the proposed pr

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> of the area. Attachment 1 is a conceptual plan for biotic preserves. Final boundar expanded preserves will be determined in the field in consultation with the CDFG daries of

- Existing a significant Preserve one the Groupeool Creak controls extending 50 feet from the low effaults along the region of the mean ender loss Anathemics 11. The preserve that the effault along the region of the mean ender loss Anathemics all structures and along A new order social, and point the statistic field and all structures and along A new order and along and along the statistic field and all structures and provings, and storage of explorement. All schement 11 is a conceptual pain for better preserve means and storage of explorement. All schement 11 is a conceptual pain for better preserve means and storage of explorement. All schement 11 is a conceptual pain for better preserve.
- 6. Identify locations where restoration of natural habitat shall occur along Graywood Creek as part of the revised Vogstation Management Plan for the project. These shall include the existing constant of the rain channel and rout de segments where the yapproach the creek creasing, and the existing off-site rout argument that would no longer be used when Read h in combridted with the revise satisfand argument that would no longer be used when Read h.
- b. A final Vegetation Management Plan shall be proposed by the applicable control a deform in the second second

Monitoring and long-term manufactures and imperiment as required by the Mitigati Vegetation Management Plans, through a nonventional appendent with a qualified pro-tained to review and opposed by PRMID staff.

- Bilingtone Montelets: The Land Development Risk Checke and point planner chall ensure that he to be a schedule in the incomposent Risks and the air winners has he to be a schedule to line and prevent bounders, noteney and driverup locations, and other modifications shall be incorporated in the Risk May, Goodball Risk, and Locations Risk The specificant is responsible for presents the Risk May, Goodball Risk, and Locations Risk Risk Risk Risks, and the schedule planner. Final May, and all conditions and responsible related May, and Locations and responsible relations to the respective planne.
- 94. To mitigate potential impacts on wetlands and jurisdictional waters, the following measures shall incorporated into development plans prior to issuance of building permits or Final Map recordation whichever occurs fint.
 - Revise the proposed Development Plan or tentative map to restrict improvements outside to seasonal wetlands and minimize disturbance to the epheneral drainages on the site. At min this shall include:
 - Accurately nap the ephemeral drainages which cross the inn parcel (Parcel B) and proposed residential its 5, 6, and 7 using QPS, and adjust the proposed building envelopes. Insubritely, and parking on these parcels to parvice a minimars D-ford setback from these drainages. To equipment operation or other disturbance shall occur within this setback zone, except for relaxing underware consings.

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98. In order to minimize light pollution impacts prior to building permit issuance for the winery facilities an extension lighting plan shall be submitted to the County Permit and Resource Management Department Design Review Committee for review and approval. The following standards shall apply to the lighting

All light sources shall be fully shielded from off-site view.

- · All lights to be downcast except where it can be proved to not adversely affect other parcels
- Escape of light to the atmosphere shall be minimized.
 Low intensity, indirect light sources shall be encourage
- · On-demand lighting systems shall be encouraged
- Mercury, sodium vapor, and similar intense and bright lights shall not to pomitted examplements their need is specifically approved and their source of light to Astrophysical.
- Where possible site lighting fixtures on the ground rather Wall 01 polisit

Mitigation Menifering: The applicant would be responsible for summing the terminor ispiring patients to the County Permit and Resource Management Department for inview and approach by the Despin Review Committee. Prior to building permit issuance, an existion (particip permitsibility is proved for the invitagement) and the wintyr. Prior to recording the Provider Management and the invitability of the projects COSING for implementation by the Foreneement Association for externet lighting plans for esidential units shal be approved.

Prior permit issuance the applicant shall develop lighting standards for inclusion in the overaan the wnery. These standards shall be in accordance with the standards established for the L21 lighting zone as developed in the 2005 California Elergy (Reicen) Building Blandards being developed by the California Energy Cometision. These are he standards for parts, necreaster and withfor persons. The coverands tabilin Duck the Building Blandards and allow for a doctors of the one with the prevents. The coverands tabilin Duck the Building Blandards and a doctors of the and withfor persons. The coverands tabilin Duck the Building Blandards and allow of persons and the standards and allow the standards the standards for parts and the standards the standards and the standards the standards and the standards the standard

All lamps over 10 with shall be fully shelded. Maximum unshielded lamp (build) on the project's interior shall be 50 wette Wattmum multiflighteght of any keminare (Indure) shall be 20 feet above the finished grade. Maximum withlight of any temp but shall be for watts.

Hilligation Mentioner: The applicant's lighting engineer shall provide certification to PRMD that the spring design plan is in conformance with the above standards for the L21 lighting zone at the time it is authomat to be being Review Committee.

Prerr to statisting juenti issuance the applicant's lighting engineer shall provide certification to PRMD that the lighting align submitted with the building permit certiform to these standards and that all motifications incommended/incurred by the Design Review Committee and/or the Plan Check Staff are an continuous with the 21 standards.

Prior to building occupancy the applicant's lighting engineer shall perform an inspection and provid certification to PRM0 that the lighting installation is in accordance with the approved plans and with

100. The following conditions shall be noted on all grading and construction plans and provided to all contractors and superintendents on the job site regarding the percedures to follow in the event that cultural deposits or human remains are fund is cultural contract information for the County Centeent's

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- b. As recommended in Condition #17, a Stormwater Policion Prevention Plan shall be prepared #07 implemented and peet hangement Preventions to control both constructions and addimentation and period-related non-point discharge into analyze into an extent to the relation the share and the statement of the share and the sh enter detailed measures to sentral smaller of septents only provide for recognition of graduations being as the start of the first raisy season following grades, address non-point source poliutants to protect wetlands and water quality in the drainages, and specify procedures for monitoring of the effectiveness of the measures. These measures shall be integrated with the provisions to prevent changes in peak flow and runoff volumes that could adversely affect the seasonal wetlands, as recommended in Mitigation Measure 5.3-5.
- c. A bridge or arched culvert shall be used for the Graywood Creek crossing to A strage of article coversion to use to the Universe Creek crossing to minimize distantiation to pirisdictional waters in the channel and provide for a natural bed under the structure. The width of the crossing structure shall be kept to a minimum acceptable from a traffic satisfy standpoint, and construction improvements implemented with usariant minimum distantiance in the channel and cost vegetator along the creek. Construction shall be performed during the low flow period to the structure shall be kept to a minimum acceptable from a traffic satisfy standpoint. in the creek, from July through October, and construction debris kept outside of the creek channel through use of sit fencing.
- Restrict construction of roadway and driveway improvements within 100 feet of the seas welfands and ephemeral drainages to the summer months after these features contain water to minimize disturbance and the potential for sedimentition.
- a. All occessory particularial is a second from regulatory approvals is expended in linke functionations are uncleaned and second particular and the many neutral oxidenced resources on the second particular and the second particular second par

Mitigation Monitoring: The Land Development Plan Checker had project planter shall insure that the note is included in the Improvement Plans and that ill revisions to the limits of grading, kit the and preserve boundaries, noakway and civieway location, and allow methating and an incorporated into the Final Map, Grading Plan, and Landscave Plan. Economication will prototricoust against shall be complained polor to filing of the Final May, such all condition incorporated into the respective plans, while voldence of compliance submitted to the Court ective plans, with evide Incorporated into the respective pane, were version or at the source excerning to the Country Permit and Resources Management Department prior to issuance of any yranding or building permits. Monitoring and long-term maintenance will be performed as required by the Mitiga Plan and the Biomin Water Politiciton Prevention Previn through constructual agreement with a qualified professional, subject to review and approval by PRMD.

- The following measures shall be incorporated into development plans to mitigate potential impacts on natural habitat and widdle mesonematic executivation:
- a. Revise the proposed sevelopment plan to minimize the loss of woodland and forest habitat on the site. At minimum this shall include:
- (just proposed parking and roadway improvements for the winery to avoid additional tree sources, based on a survey of tree hunk locations required as part of the final Vegetation anagement Plan called for in Mitigation Measures 5.4-(b) and 5.4-(b).
- 2. Design and construct the network of roads and driveways using the minimum width as approved by the Department of Emergency Services.

b. A final Vegetation Maxagement Plan shall be prepared by the applicant's certified arborist in consultation with a qualified professional botanist called for in Mitgation Measure 5.6-(1)s) subject to review and approval by PriMID The final Vegetation Management Plan shall be expanded to address protection and management of woodland, forest, rigarian, chaparat, wetland, and

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(1) Workers involved in ground disturbing activities shall be trained in the recognition of archaeological resources (e.g., hatoric and prehilatoric antifacta typical of the general area) at a preconstruction conference. Workers shall be instructed in reporting such discoveries and other appropriate protocols to ensure that construction activities avoid or minimize impacts to potentially significant output of the source that control to the source of the sou

(2) If cutural deposits are encountered at any location, construction in the vicinity shall be instelled and PRMD shall be instelled. A qualified actively and a the applicativement's express. The archeologist shall contex an independent investe of the first, with authorization of and unset references in the product investe of the Country Prompt evaluations should be made regariting the subprinces and in find and a course of tacknowledge that concerned participants. should be adopted

If mitigation is required, pessivation in place is the preferred manner of mitigating impacts to ambaelogical sites. This may be accomplished by, but not limited to a) Planning construction to avoid anotheological sites. (I) incorporation of sites within parks, resempace, or other oen space. Covering the antheological sites with a layer of chemically sitele sol before building termin courts, parking toxic, or small statilism on the site of planner and the list dia permanent conservation.

When data recovery through excavation is the only feasible mitigation, a data recovery plan, which In their value recovery shall not be required for an historical resource of the lead approach, a data recovery pair, which makes provide for adequative recovering the scientificative consigned is information from and about the internal resources, shall be prepared and adepted prior to any excercision leading undertaken. Data recovery shall not be required for an historical resource of the lead approxy determines that testing on the science of the science of the science of the lead approxy determines that testing on the science of the s recorrenzy small not complete that we adoptately increasing allowing adopting second statistical shades allowed complete that we adoptately not well we scientifically consequential information, provided that information is documented in the EIR and the studies are deposited with the California Historical Resources Reg and Information Center.

(1) In the sender of an increase of increases of magnetized and pulsars makelish. The Minlands phases and a sender of the state or any setting parase suscentiary target accelerate and and distribution of the state or any setting parase suscentiary suscentiary target accelerate and setting accelerate and the state or any setting parase suscentiary target accelerate and setting accelerate accelerate accelerate accelerate accelerate accelerate and setting accelerate accelerate accelerate accelerate accelerate accelerate and setting accelerate accelerations accelerate accelerate accelerate accelerate accelerate accelerate accelerate accelerate acceleration accelerate acceler In the event the NAHC is unable to identify a most likely descencent, or the most likely descendent blied is make a recommendation within 24 hours after being notified by the NAHC, or the landown or the sufficient representative rejects the recommendation of the descendent and the mediation by the NAHE dust to provide measures acceptable to the landowny, then the landowner or his submitstate representance shall require the NAHA American hears means and associated grave guistat with asiamatrixia illipsity on the property in a location not subject to further subsurface.

Biogenetic Mathematics: The Lack Development Take Checker and paying princes will never the sevelapse interferences place in a term of the Lacks are an induced or all place plates are particle in boths. A Consulting antiheterologically, will be referred to mobile initial paying can be all where the setting determines determine and exclosioner instruction and place plates and setting and the consistence of an exclosioner instruction and COSA significance and many setting and the setting of the setting and the setting of the setting of the setting and the setting particular setting and setting and the setting particular setting and setting particular setting and setting and the setting particular setting and setting and the setting particular setting and setting and the setting particular setting and setting and setting particular setting pa

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- grassland habitat on the site. Revisions to the Vegetation Management Plan outline prepared by McNair and Associates in 2000 and shall include the following:
- Expand the provisions related to Fire Hazard Management to define tree removal required to most missiour assess seasoning for trees within 155 feet of structures.
- 2. Revise the Tree Protection Procedures to include a requirement for a survey of all trees to b revenue set intervention of the structures and anticipated products the intervention of the structures and anticipated products the structures to be prevented and removed as final planes and developed.
- Specify under landscaping provisions that non-native on-amental species used in landscape plants shall be revisiced to the immediate vicinity of proposed development, including building envelopes on residential lots, and that non-native, invasive species which may spread into adjacent undeveloped areas shall be prohibited in landscaping plans.
- 4. Specify under Noxious Weed Control that unsuitable species be prohibited from use in supplied process mouses in each control time indicates as provided more than the original models and the support of the suppo
- Specify under sits grading that any graded slopes in preserves, along road cuts, and around parking lots shall be re-seeded with a mixture of compatible native and non-native perennial and annual species, including purple needlegrass (Nassolia pulchra), to increase the diversit of the grassland over. Highly invasive annuals typically used for erosion control shall not be
- Revise the Vagetation Management Plan called for in Mitgation Masauras 54-2(3) and 5-4-2(3) to privise a program addressing Ma loss of them. The instructional program AdV incorporate provide a program of the program of the term of term of the term of term of term of the term of term of the term of term of term of term of term of term of the term of t c. Revise the Vegelation Manage
- I. Measures recommended in Missiantin Measures 15-1, 52-1, 62-3 and 52-4621 phrough 62-3 world saves to simply protech reproduction of missian hashed in other with the automation takes and the simple performance of the market shorters in Missian Regional Plant, on Creak and the upper invariance of in the waters & Sovierts Planters Missian Regional Plant, on Creak and the upper invariance of in the waters & Sovierts Planters Planters and Creak and Distribution and the programment of the shorter protect in statism hashes the sovierts Automation additional provisions hash to implemented to further protect in statism hashes the sovierts. And the in included on CCR in our as recorded enterticitions prior in instance of permitti. such 5.6-4cl inces, and shall

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wher will be responsible for ensuring that contractors engaged in appl implemented grading and construction have been property trained and will provide documentation to the project planner of this training prior to grading permit issuance.

In the event that prehistoric sorthesological resources are discovered, local Native America organizations should be consulted and involved in making resource management decision applicable State and local requirements concerning the handing and disposition of archae finds will be strictly enforced.

101. An archeologist shall provide a written report to PRND following initial grading activities. PRND staff shall verify that an archeologist is available prior to issuance of a grading/building permit.

102. Only natural gas fireplaces shall be allowed in the winery buildings. Union 516-1

Mitigation Monitoring: Prior to building permit issuance, County staff shall contrel that only natural gas fireplaces shall be induced in the winery.

Operational conditions:

- The conditions below have been satisfied" BY _____ 103. The following types of foot service are allowed under this permit
 - a. Samples or tastes of pre-prepared food featuring local foods and food products offered in conjunction with winetasting, marketing or promotional activities, or charitable events.
- b. Samples or tastes from cooking demonstrations featuring local foods and food products offered in conjunction with winatasting, marketing or promotional activities, or charitable events.
- c. Appetizers or meals haturing local foods and food products offered in conjunction with charitable events or weddings/localal events.
- d. Appetizers or meals featuring local foods and food products offered in conjunction with marketing or promotional activities not open to drop-in guests or noticed to the general public.
- e. Retail sales of pre-pripared food not associated with the activities described in a), b), c), and d) above, provided that he retail sales comply with the following requirements:
- Retail sales of pre-prepared food shall be permitted only during tasting room hours as approved by this semill.
- 2. Retail sales of pri-prepared food shall be for on-site consumption only.
- No individual merus shall be allowed for retail sales of pre-prepared food. However, a list of available foods may be posted.
- 4. No table service shall be allowed for retail sales of pre-orepared food
- 5. No interior seating dedicated solely to consumption of pre-prepared food shall be allowed

No off-site signs advertising retail sales of pre-prepared load shall be allowed. However, one exterior on-site sign shall be permitted, subject to approval of a Design Review permit.

No other food service, including, without limitation, retail sales of cooked-to-order food, shall be allowed under this permit

106. The "country store" (intended for ancitary retail sales) shall occuy a maximum of 3,000 aquare feel of building area. The may be a separate building or attached to be man warry building. The store is a character of the sale of 107. Any proposed modification, alterations, and/or expansion of the use authorized by this Use Permit shall require the prior review and approval of the Permit and Resource Management Of be Beard at Daving Adjustministic as electronized by the Direction. Busin sharinges may require a new er modified Use Permit and Uservisionmental nerview. 108. This permit shall be subject to revocation or modification by the load of Zening Adjustments if: (a) the Bload field that these has been noncompliance with any of the conditions or (b) the Bloard field that the use if which the permit to hereiny granted conditions and any on the revocation shale perceded by a public hearing noticed and heard pursuant to tection 26-92-120 and 26-92-140 of the Sionman Source Control Conditions.

In any case where a but hermit has not been used within two (2) peaks their the date of the grading theorem, for the varial before any control of the theorem of the two the date of th CONDITIONS



CDH 65545

DATE

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1. Fencing that obstructs wildlife movement shall not be allowed on the winery site. A restit/first

on exclusionary fencing of any agricultural use on the lower elevations of the site shall be incorporated in consultation with CDFG.

2. Supplies glastic as earching subgrade subgrade to be provided in the second subgrade su

Livestics and to prohibited on the residential lots and the preserve areas on the plan to provent transplant and removal of groundcover vegetatios.

4 All garterpe, remyling, and composing shall be kept in dased containers and atciting an lockall to prevent wildlife from using the waste as a food source.

Whickes and instamples shall not be allowed to travel off desphated roadways to minimum failure distributes to prassing and understory in the underwipped particine of the site. Mailuola and the extensional is prevent unauthorized vehicle activity bring and after concrutant.

Bibliokaska Bibliokaska, "The Lond Reinslemment Files Direktor of proport personal index minutes hinds have note in an obtained the Improvement Files men of that all involves in the limit of gradual (Li file and persons biocharins, insteiny and direktory) localistics and obtained Filestone (Li file and Direktory and State (Li file) and the state of the state of the state of the state complexes with specific variations will be confirmed priority direktory and only subsequent approvals of Disetting Plann, Landscape Filestone (Li file) and only subsequent approvals of Disetting Plann, Landscape Filestone (Li file) and only subsequent approvals of Disetting Plann, Landscape Filestone (Li file) and the state state of the state of Disetting Plann, Landscape File) and the State (Li file) and the state state of the state of the state of the state of the Mitgliation (Li file) and the state of the s

96. Prior to building permit issuance, the applicant shall develop a long-term funding plan for the maintenance and management of the bolic preserves. This plan shall provide for funding tomail land uses on a "ain-hard" basis to that fees are collected from hain-typicabetaurant, wherey and latena d'amara Association. These appearances shall be recorded and negative topics provided to the the Permit and Rescurse Management Department.

97. In order to minimize visual impacts of the winery buildings, measures shall be applied to reduce the visual contrast of the winery with the immediately surrounding setting so that the project will not attract attention as seen rom State Route 12. Such measures include the use of certain colons on exterior building surfaces and retaining as many trees on the project site as possible as follows:

a. Colors used for exterior building surfaces shall match the hus, lightness, and saturation of colors of the immediately summaring them subject to even and sporwal by the Design Review meminics authority. Bor manuella and be non-place, and in color and manufacted with colors in the summaring authority. Bor manuella all be non-place, that has no color and manufacted with colors in the summaring authority. All building materials shall be non-reflective and all gives shall be no distinct reflatives.

b. Landscaping of the wherey shall include the planting of lives or other landscaping treatments to provide screening of the 117 vitticke parking tri from State -lighway 12.

c. Prior to building permission where the winey the goding plan, development plan, landscaping plan, sign plan, elevations, and solors and momentals shall nonive review and approval of the Senoma County Desgn Review Committee.

104. The days and hours for special events shall be subject to any institutions or modifications as and fort by a future winexpresents coordinator program established by the Qounty or all the County's distillon. The applicant shall contribute, on an annual basis, a fair thrane meeting the regel of summaling and maintaining the pogram and shall submit an annual request file any special strengt. The distillance of the county of the second strengt of the second strengt of the second strengt.

Mitigation Menitering: Sonoma County is responsible for implementing and managing the winery events coordinator program. The County will be responsible for rollecting funds and administering on program to control special event fartific.

105. All grape pomace residue shall be removed from the site or spread in vineyards in remote areas of the property furthest away from neighbors.

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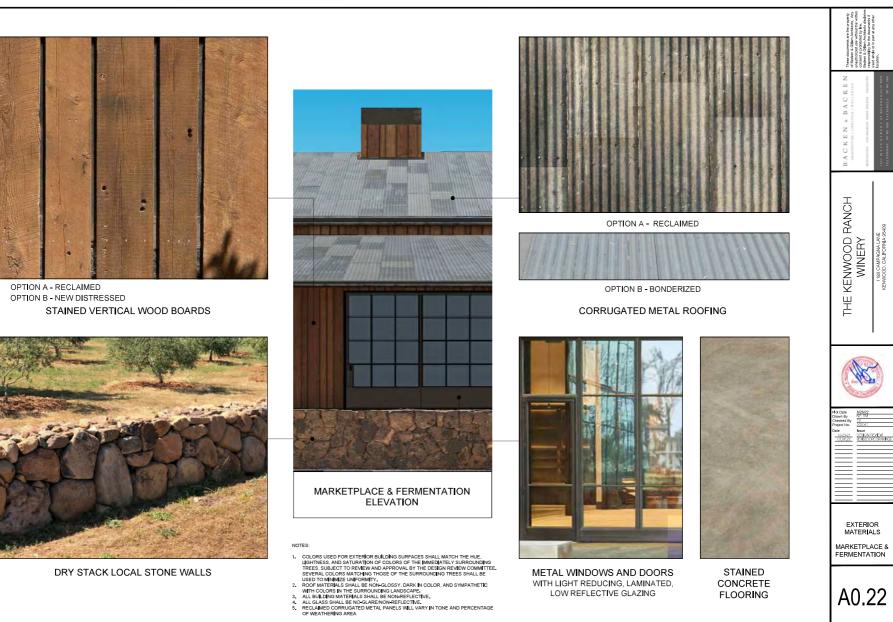
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ale of agricultural products grown primarity in Son kimum of 10% of the retail floor area.









EXTERIOR

6/26/22 NP: 59/ 2020 DESIGN REVEW REVISED DRC DRWING

MATERIALS RESERVE TASTING.

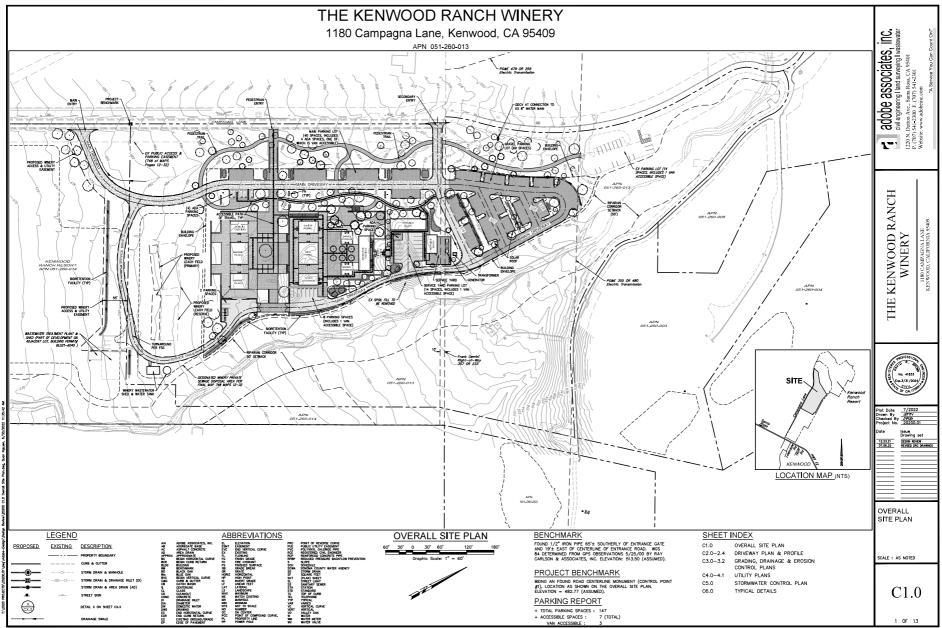
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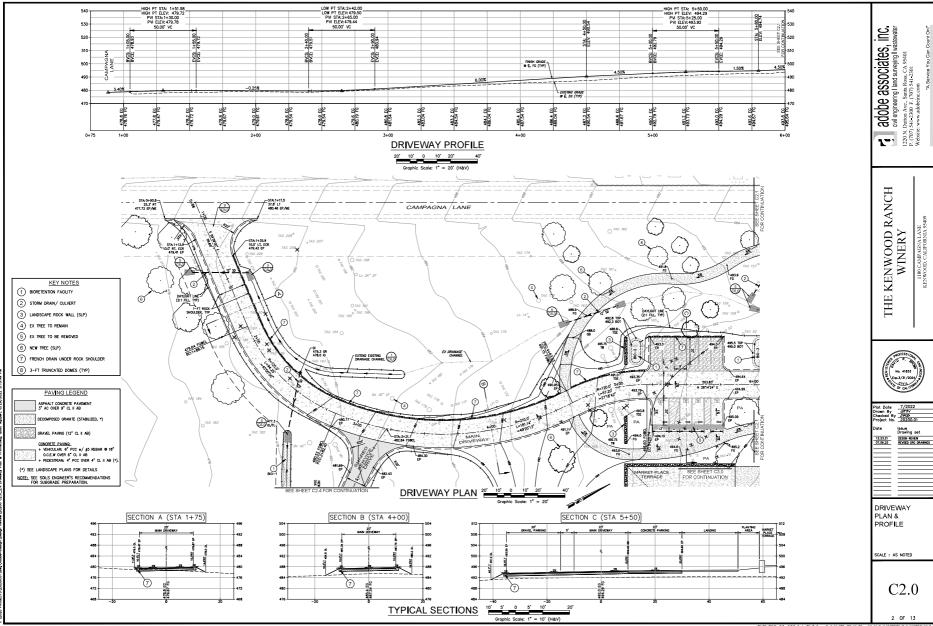
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BARREL BLDG & OFFICE

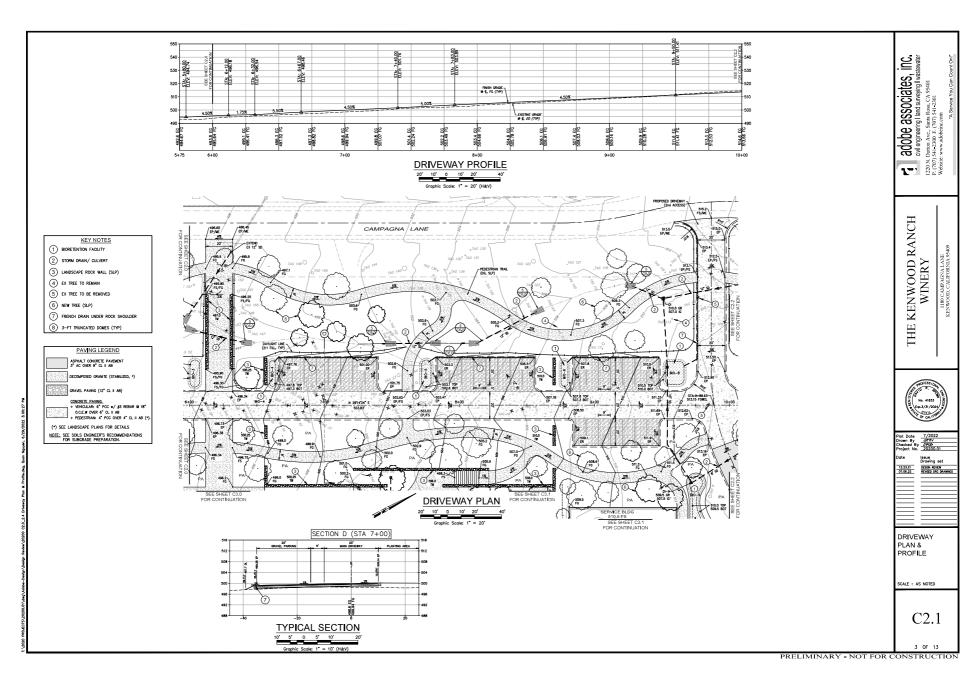
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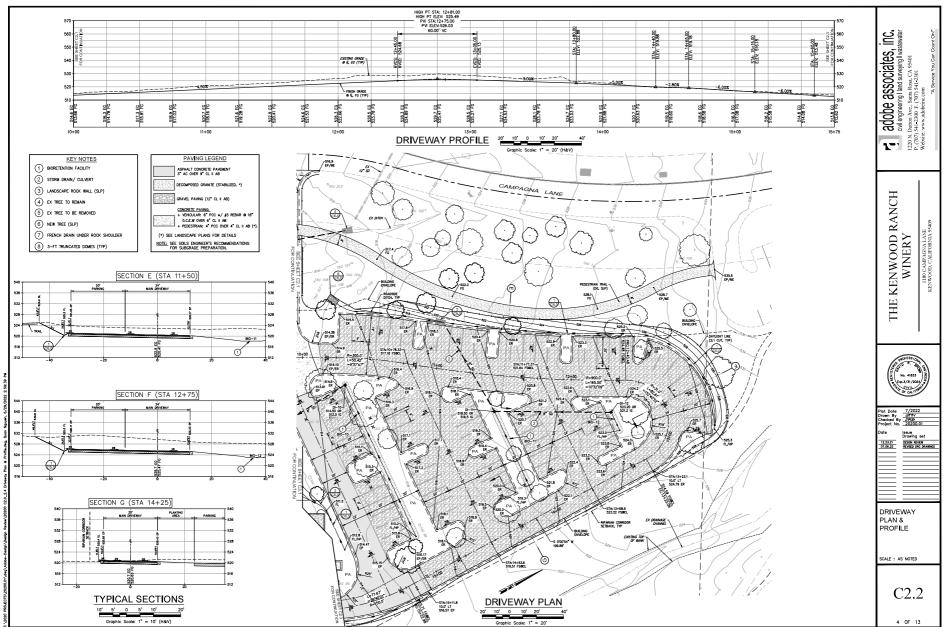


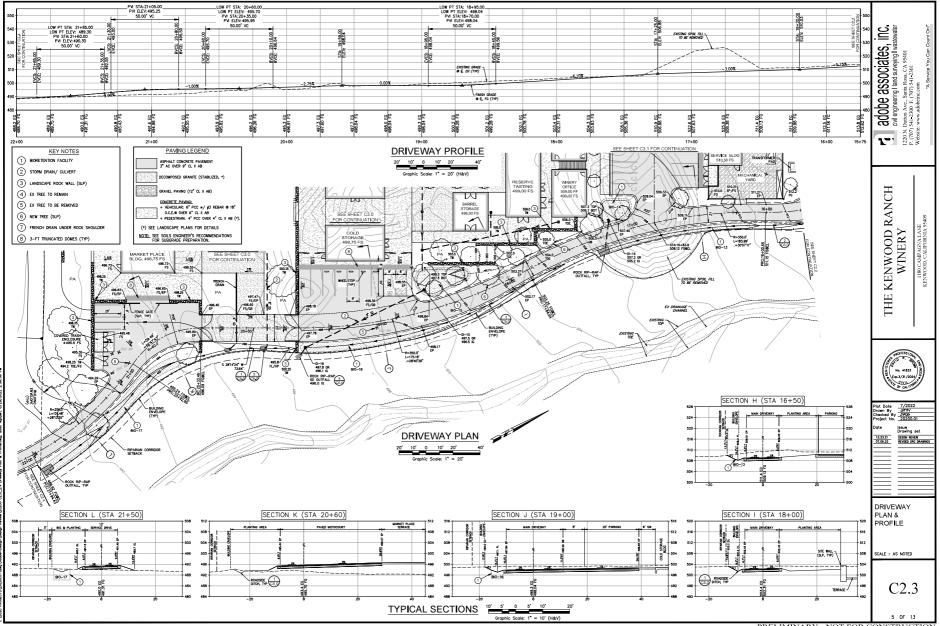




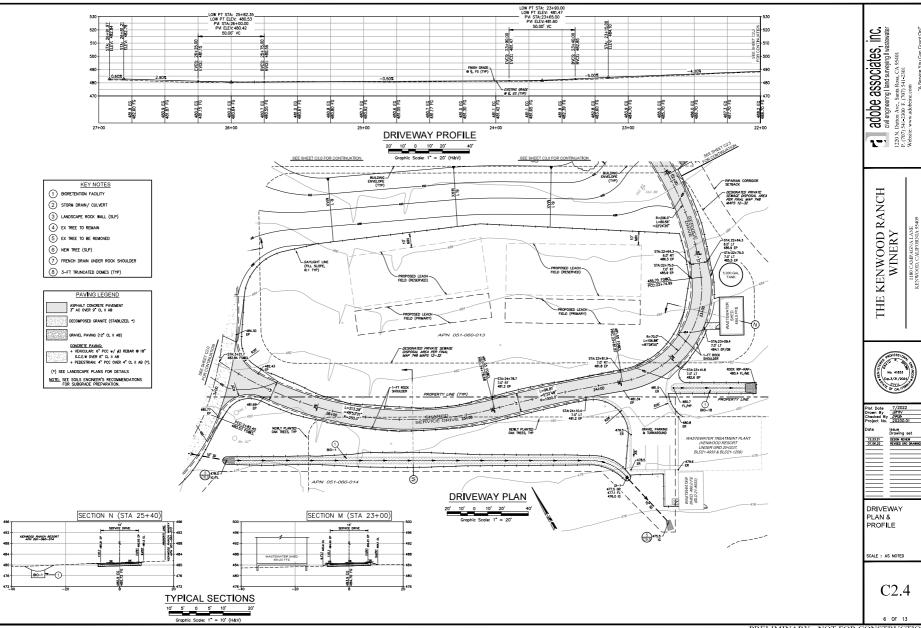
PRELIMINARY NOT FOR CONSTRUCTION

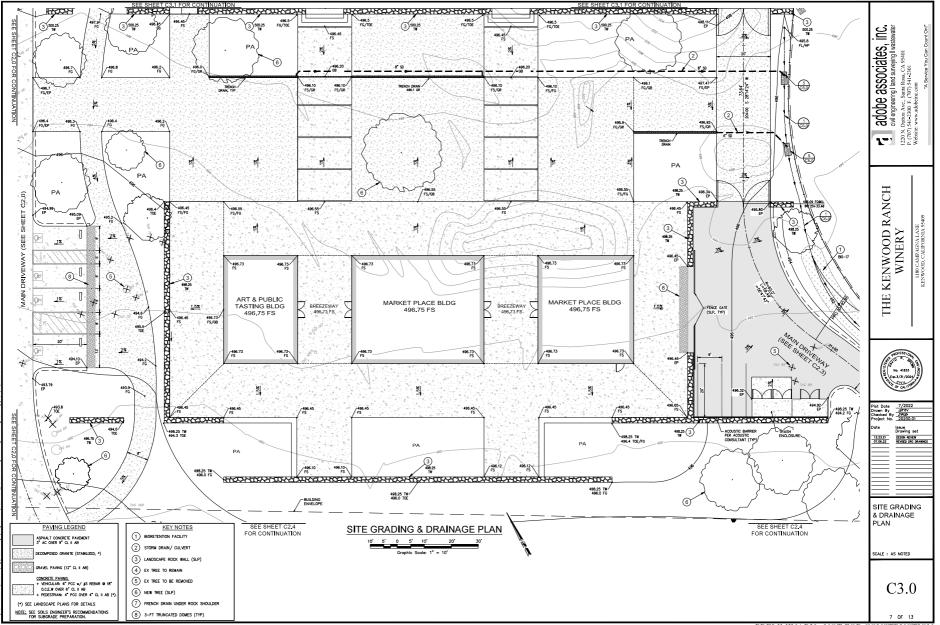




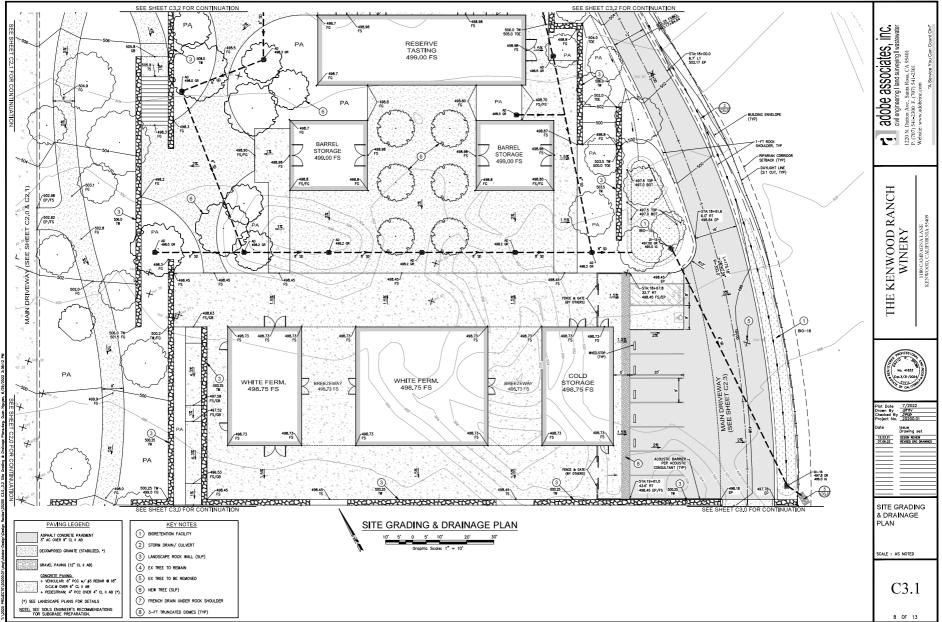


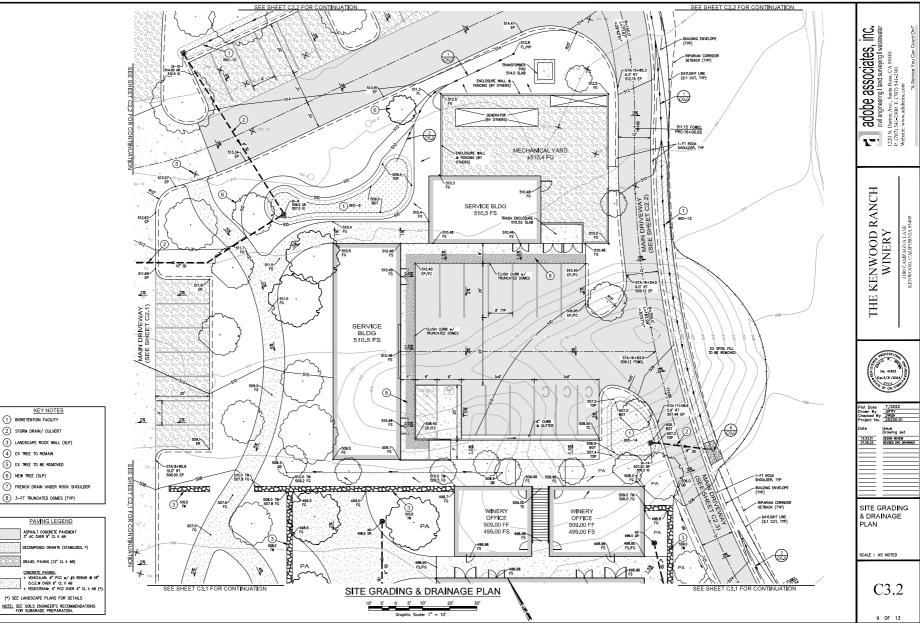
PRELIMINARY - NOT FOR CONSTRUCTION

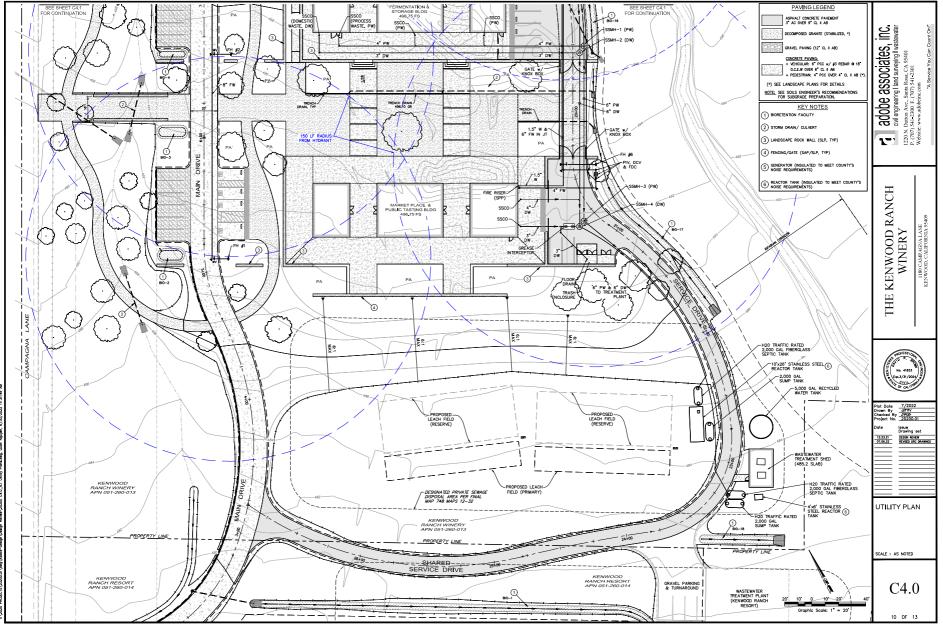




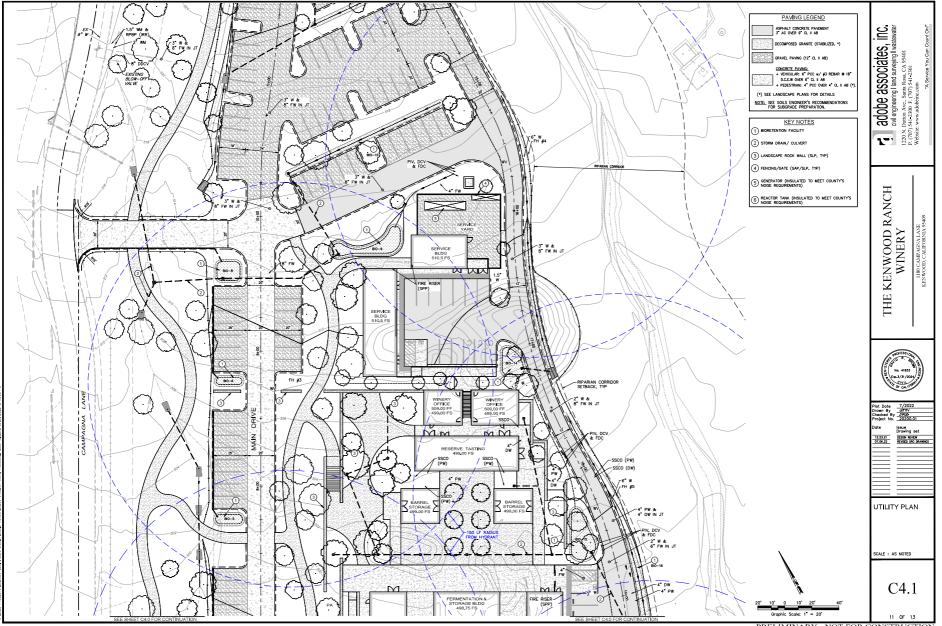
PRELIMINARY NOT FOR CONSTRUCTION

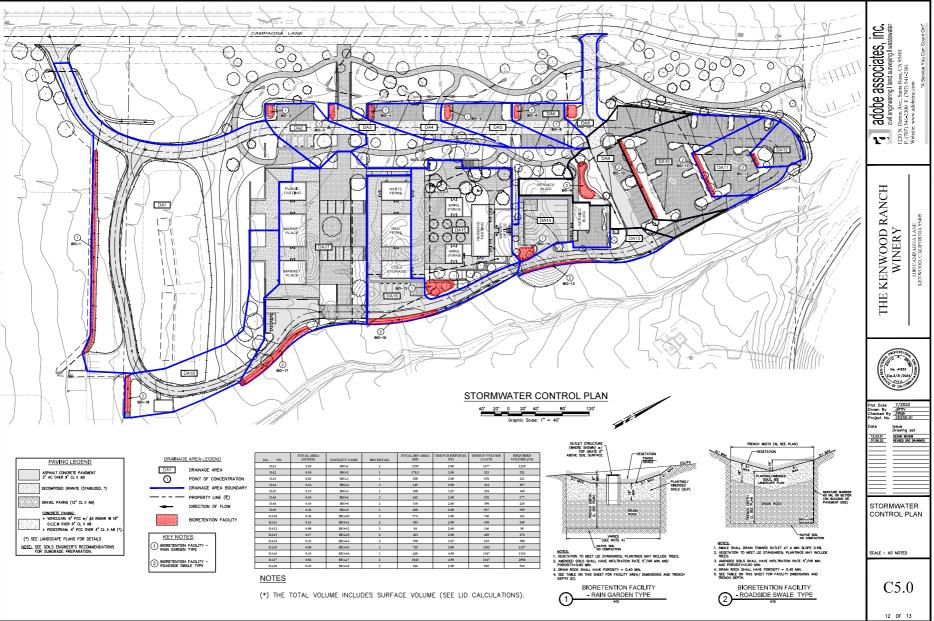


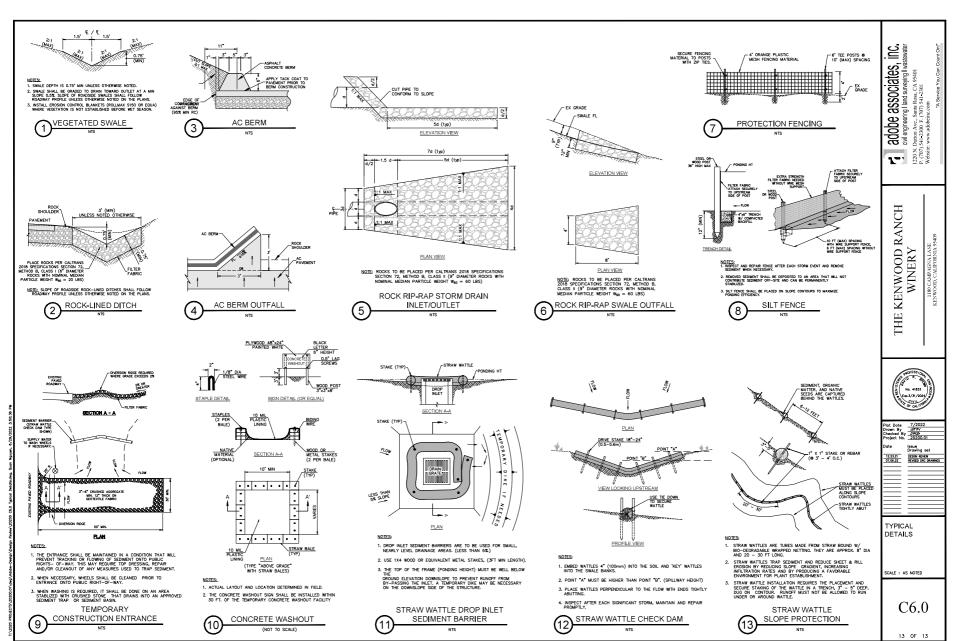




PRELIMINARY NOT FOR CONSTRUCTION







LEGEND



Winery Parcel Building Envelope- Individual Tree Evaluation Data

Suitability for Preservation Ratings: Health and Structural Rating Key:

- Moderate or Better Condition
 So Moderate or Better Condition
 So Fair Condition
 Narginal Condition
 Poor to Marginal Condition
 Poor Condition

coast live oak

12; 12; 16

Good Moderate

Trees in good health and structural condition with high potential for longevity. Trees in fair health and/or with structural defects that can be abated with treatment Trees in marginal health or structural condition that coal possible be mitigated or improved Trees in poor health and/or structural condition that probably cannot be effectively abated Fair Poor

Total Trees To Be Removed for Construction: 26 Total (N) Oaks to be Planted: 155 Grand Total (N) Trees to be Planted: 159 Total Trees To Be Removed per Arborist Report Recommendation: 69 Tree # Trunk Diameter (inches) # of Trunks Health Rating Structural Rating Suitability for Preservation Species black oak (Quercus kelloggii) coast live oak (Quercus anrifolia) coast live oak coast live oak 11: 12 loderate ast live oak coast live oak coast live oak 12; 13; 15 13:14 coast live o coast live oak 28 coast live oal coast live oak Poor coast live oa

;	coast live oak	13	1	1,5	2,5	Poor
	coast live oak	16	1	1.5	2	Poor
0	coast live oak	17	1	1.5	1.5	Poor
1		22	1	2	2	Fair
		13		<u> </u>	2	-
2					2	Poor
3	valley oak (Q. lobata)	27	1	2	2.5	Fair
4	coast live oak	10	1	1.5	2.5	Poor
5	coast live oak	18 (low)	1		2.5	Fair
	COBCINE DBK	0.000		4	2.5	
6	coast live cak	18	1	2	2,5	Fair
7	coast live oak	9	1	2	2.5	Fair
8	coast live oak	9	1			Fair
0	COast live oak	2		2	2	Fair
9		26	2 @ 6'		2.5	Fair
0	vallev oak	12	1	2	3	Fair
1	coast live oak	11	1	1.5	2.5	Poor
		7		1.5		
2 3						Poor
3	coast live oak		2	1.5	2.5	Poor
4	coast live oak	13	1	1.5	2.5	Poor
-	coast live oak	9.5		1.5	2.5	Poor
2	COast live oak			1.0	2.3	PODE
6		6		1.5	2.5	Poor
7	coast live oak	6	1	1.5	2.5	Poor
8	vallev oak	8	1	1.5	2.5	Poor
~	Tone Tool	5.5				Poor
9					2.5	Poor
0	coast live oak	5	1	1.5	2.5	Poor
1		6	1	1.5	1.5	Poor
2					2	Poor
*					2	P 001
3	coast live oak	13	1	1,5		Poor
4	coast live oak	18	2 @ 5'	1,5	2	Poor
4 5		11		1.5	2	Poor
	coast live oak	8		1.5	1.5	Poor
6 7		0				
7		13	0	1,5	2	Poor
		20	1	1.5	2	Poor
8 9 0		10		1.5	2	Poor
2	volley oak				4	
0		15		1.5	2	Poor
1	valley oak	20	1	1,5	2	Poor
2		20	1	1.5	2	Poor
-	Conception minite can (G. garryalia)	13		1	2	0.00
<u>.</u>			-			Poor
4		20			2	Poor
5			2	1.5	2	Poor
5	coast live oak	10	1	1.5	2	Poor
0	COAST INC OAK	7			2	
/						Poor
8	coast live oak	7		1,5	2	Poor
9	coast live oak	24	ł	2	2.5	Fair
~			2			
0	coast live oak		2	2	2.5	Fair
1	valley oak	36	1	2	2	Fair
2		22	1	1,5		Poor
	coast live oak	7; 18	2	1.5	2	Poor
3		7; IB	2	1.5	2	
4	coast live oak			1.5	2	Poor
5	coast live cak	24	1	1.5	2	Poor
6	coast live oak	11		1.5	2	Poor
0		7			6	PODI
7			1	1,5		Poor
8	coast live oak	5	1	1	1.5	Poor
9		10:19	2	1,5	2	Poor
<u> </u>	Lagest Res and			10	1.0	
0	coast live oak	b		1	1.5	Poor
1			2		2	Poor
2	coast live oak	15:18	2	1.5	2	Poor
3	valley oak	18	1	1.5	2	Poor
				1.7		
4		12			2	Fair
5	coast live oak	6	1	1,5	2	Poor
6	coast live cak	28	1	2	2	Fair
-	record for each		2		A.	
/	coast live oak					Fair
В		10; 12	2	2		Fair
9	valley oak	7				
0				1.5	2.5	Poor
			1	1.5	2	Poor
1		26	1	2	2	Fair
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Poor

Health and Structural Ratings:

Species

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valley oak

coast live oak

coast live oak

coast live oak

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208

24:24

valley oak

Tree #

Rating of relative conditions such as vigor, extent of decay, structure, and insect or disease problems.

cood and Medicate or trains indicate installar structural problems, acceptable vigor, solar in allowers of algorithmic price or installary problems, acceptable vigor, solar on any structural problems, acceptable vigor, solar on any angung and acceptable health and structural issues that could be significant, poor and mangung acceptable vigor, solar or structural problems expectably the troe is situated near structures or public areas. These rated as poor or manginal area is not of define or structural failure

Suitability	r for l	Preservat	ion F	actors
-------------	---------	-----------	-------	--------

Trunk Diameter (inches) # of Trunks Health Rating Structural Rating Suitability for Preservation

2 @ 6'

Tree Health: Vigorous and healthy trees are better able to tolerate construction impacts including root loss or injury. Structural Condition: Preserved trees should be structurally sound or have defects that can be offectively abated in areas near

or nave detects that can be effectively abated in avails near structures or high use areas. Tree Age and Species: Older trees may have reduced ability to tolerate construction impacts and adapt to changed site conditions. Additionally, individual tree species have varying tolerances to environmental impacts and changes.

Poor

Fair to Moderate

Fair to Moderate

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Fair to Moderat Poor to Fair Fair to Moderate

Fair

Poor (wildlife tree?



0/831,655,1414 F/831.655.3462 537 Houston Street Monterey, CA 93940 GROUNDSTUDIO.COM

THE KENWOOD RANCH WINERY

1180 Campagna Lane Kenwood, CA 95409

APN: 051-260-013

Issue set: REVISED DRC DRAWINGS Issue date: 07.06.22

Revisions:

REV.	DESCRIPTION	DATE
	DESIGN REVIEW	12.23.2

REVISED DRC DRAWINGS 07.06-22

Tree Inventory

Scale: N/A Drawn by: H

L0.02

Common Areas: Roadways & Driveways

Shoulder area extends 5' from paved surfaces

NOTES

 All brush and shrub species must be removed from shoulder areas (5' from paved surfaces), individual cell and ornamental trees can be retained adjacent to the roadway, provided a minimum 15' clearance is maintained over the roadway.

 Annual grasses can be retained in the shoulder areas, provided the grasses are mowed annually to a maximum 4" height or as directed.
 Maintain 30' minimum horizontal clearance between flammable vegetation across driveways. At slopes, increase the horizontal clearance imensions per the table on drawing FIS of the Sonoma County Fire Safe Standards document.

Fire Zone Property Setback

30' setback from all property lines and/or center of a road

NOTES - Structures constructed in the SRA are required to comply with the defensible space regulations in Tille 14. Natural Resources Division 15. Department of Forestry and Fire Protection Chapter 7. Fire Protection Subchapter 3. Fire Natural.

Defensible Space Zone 0

Areas within 5' of building structures

NOTES Hard surfaces such as concrete or noncombustable rock mulch are used in the 0-5' zone around structures. In specifically designated spaces, containerized herbaceous flowering perennials, annuals, and succulent plants may be used (subject to review). - Limit plants in this area to low growing, nonwoody, properly watered and maintained plants
 Remove all dead and dying weeds, grass, plants, shrubs, trees, branches and vegetative debris (leaves, needles, cones, bark, etc.)

Defensible Space Zone 1

Areas within 30' of building structures

NOTES - Trim tre

regularly to keep branches a minimum of 10' from other trees. Create a separation between trees, shrubs and items that could catch

- Greate a separation between releasing and relins and could fire, such as patio furniture, wood pilos, swing sets, etc.
 Remove all clead and dying weeds, grass, plants, shrubs, trees, branches and vegetative debris (leaves, needles, cones, bark, etc.)
- Remove vegetation and items that could catch fire from around and
 Remove vegetation and items that could catch fire from around and
- under decks, balconies and stairs, Relocate wood piles to Zone 2

Defensible Space Zone 2

Edge of Zone 1 to a 100' distance from building structures

NOTES

 - Create herizontal and vertical space bewteen gress, shrubs and trees
 according to AB 38 Defensible Space Inspection Guidelines.
 - Young or semi-mature trees less than 40' in height shall have the lower limbs removed to a height equal to 25% of the total tree height above the uphill grade (example: 20' tree requires a 5' uphill garde clearances). - Cut or mow annual grass down to a maximum height of 4" or as directed - Create vertical space between shrubs and trees - Maintain fall leaves, needles, twigs, bark, cone and small branches to a depth of 3" maximum. - All exposed wood piles must have a minimum of 10' of clearance down to bare

mineral soil in all directions

Defensible Space Zone 3

Edge of Zone 2 to 150' distance from building structures

NOTES - The same guidelines as described above will be applied. The overall

landscape will be less dense with greater separation between shrub and tree aroupings

NOTES

1. The guidelines herein have been developed in accordance with the vegetatio management plan dated March 10, 2009. Cal Fire Defensible Space Guidelines and Public Resources Code and Fire Safe from the Sonoma County Fire Code.

2. Landscape Guidelines include the following elements:

- Fire-resistant plant species are required. Landscape shrubs and groundcovers will be low growing with low foliage density. All pyrophytic plant species will be removed from this

zone. - Landscape plantings shall be grouped in island-type configurations with a maximum 18° diameter. Shrub and groundcover island plantings shall be separated by a distance no less than two times the overall shrub height. Use mature or maintained height. The maximum number of woody shrubs or groundcovers shall not exceed 30% of the total area within Zone 2,

 New tree plantings shall use fire-resistant species. Fire resistant trees include species that are deciduous, have large fleshy leaves and open lmb structures. Native oak species are naturally fire-resistant and a desirable tree species. Trees, or tree groups of limited size, will be separated by distances of at least 20' on

moderate slopes and 10' on flat areas. Shrub plantings will not be used below tree driplines Indeed as ables and in that the easy strate provide a strategy with not used to ask of the utiparties Limited numbers of intriparts and user as a strategy of the strategy of of a structure.

Non-irrigated grass areas require annual mowing to maintain a maximum 4" height or as directed.



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THE KENWOOD RANCH WINERY

1180 Campagna Lane Kenwood, CA 95409

APN: 051-260-013

Issue set: REVISED DRC DRAWINGS Issue date: 07.06.22

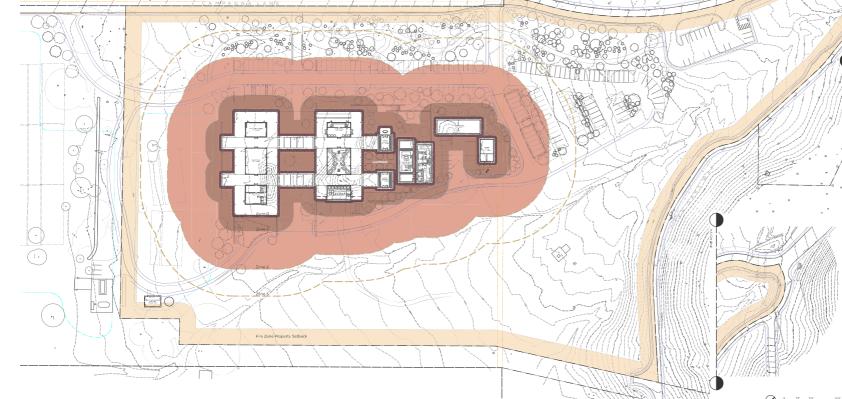
Revisions:

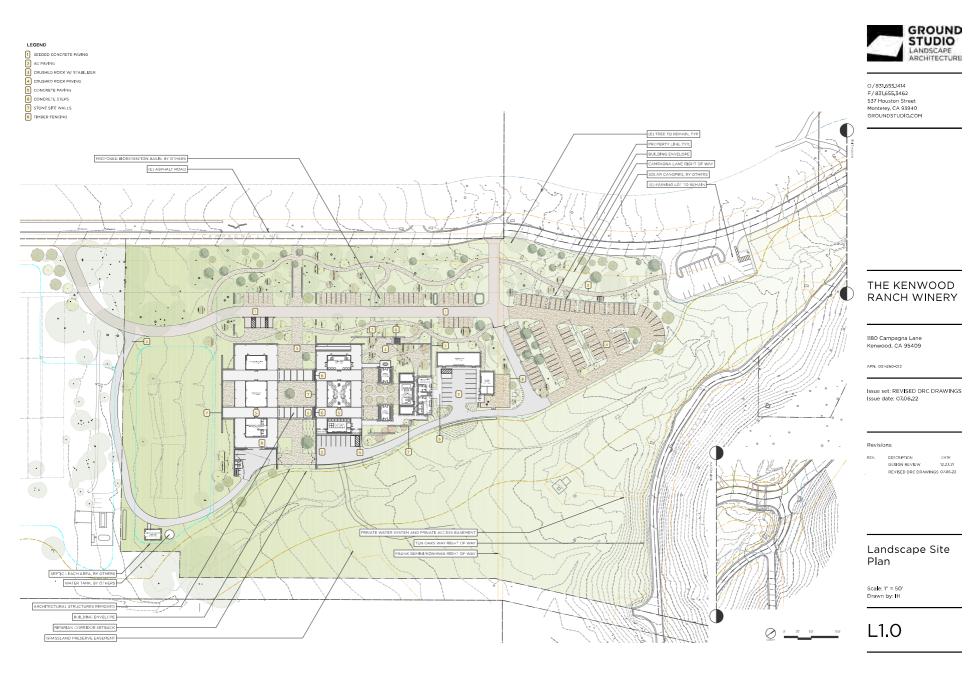
DEV DESCRIPTION DATE DESIGN REVIEW 12 23 21 REVISED DRC DRAWINGS 07.06-22

Defensible Space Requirements Plan

Scale: 1" = 50' Drawn by: H

L0.03

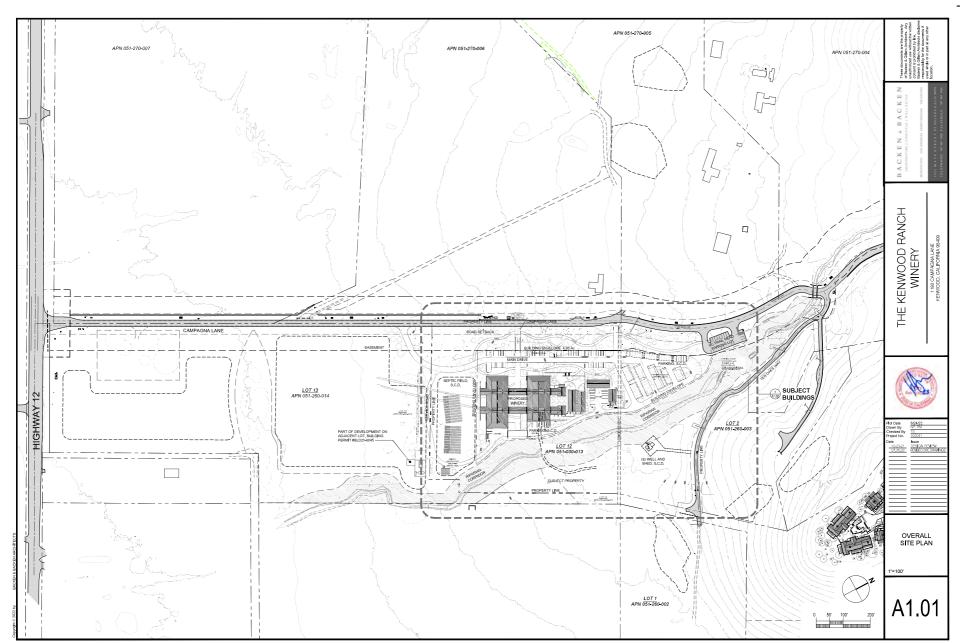


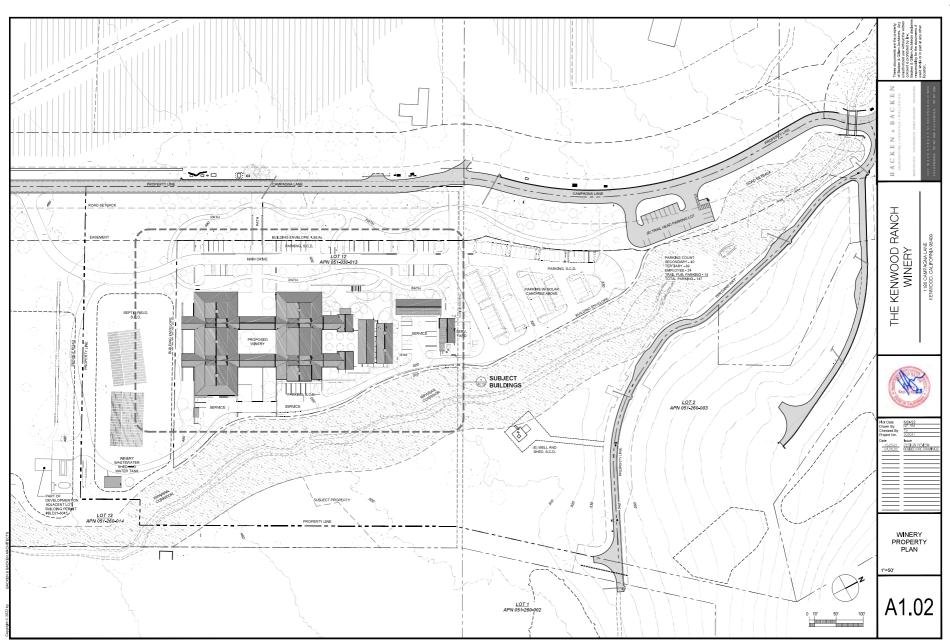


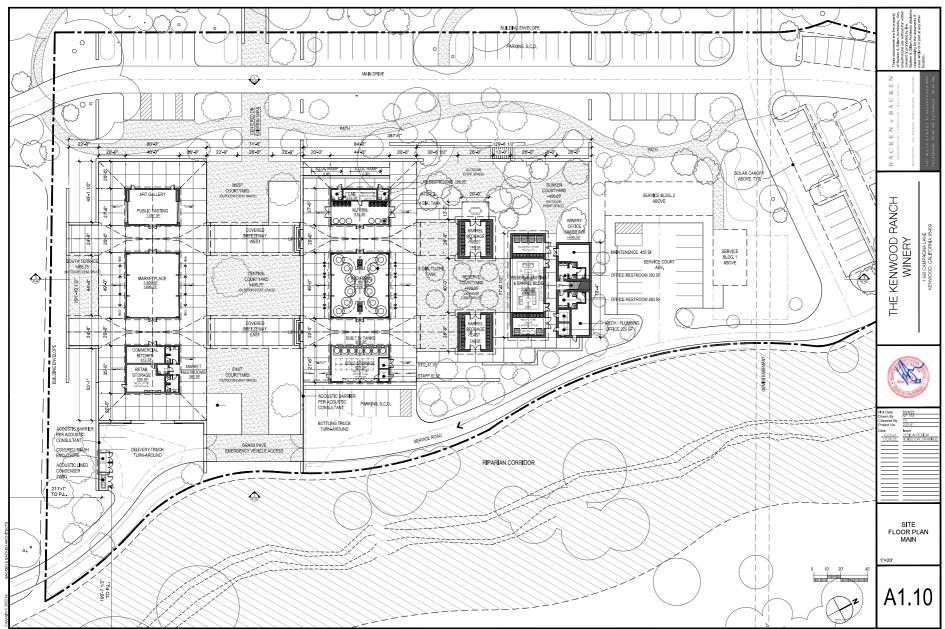
PLANT LEGEND

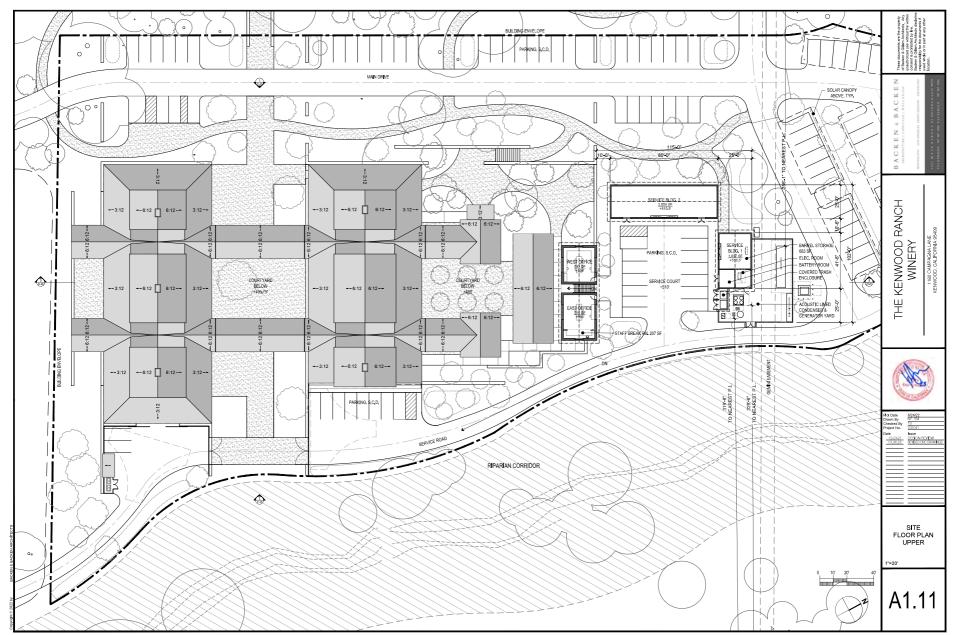


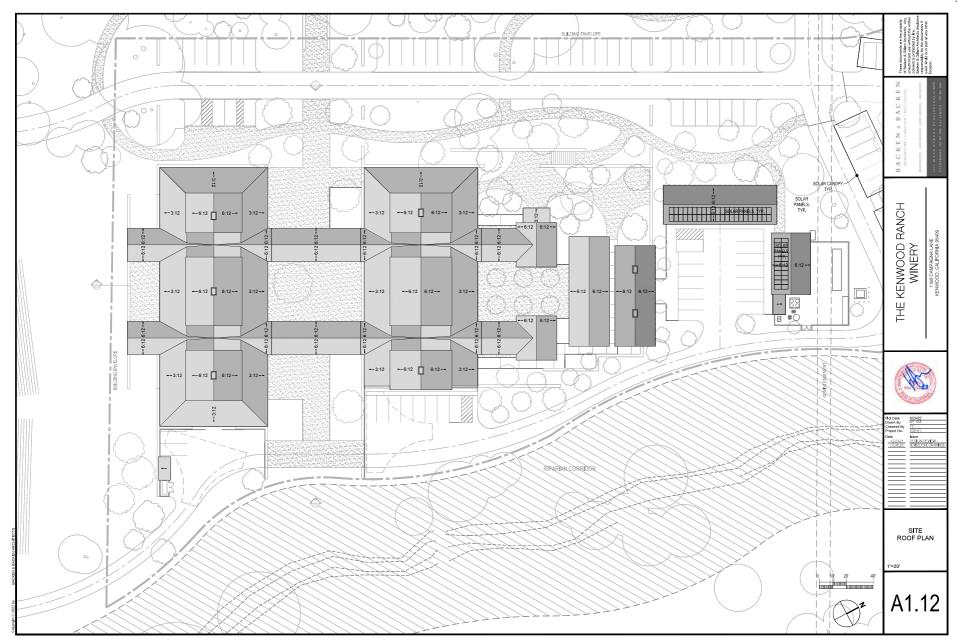
Symbol PLANTING NOTES 1. No plant greater than 18" tall shall be planted below a tree, TREES Drip Irrigation SHRUBS Drip Irrigation NATIVE WOODLAND MEADOW No Irrigation California Poppy California Fescue Idaho Fescue Molate Red Fesuce Sky Lupine California Fescue 158,399 sq. ft. Eschscholzia californica Hydroseed Hydroseed Hydroseed Hydroseed 2. Plants within zones I and II shall be well-irrigated. \bigcirc 靐 12 Garrya elliptica Wavyleaf Silktassel 5 gal + 15 gal Acer macrophyllum - Big Leaf Maple 36° box as shown as shown Festuca californica Festuca idahoensis Festuca rubra 'Molate' Lupinus nanus Festuca californica 3. Dead plants shall be removed immediately. 0/831.655.1414 143 Heteromeles arbutifolia Toyon 5 gal, 15 gal, 24" box as shown Quercus agritolia California Live Oak 36" hoy 48" hoy Multi or Std 56 4. See annual maintenance requirements in the Vegetation Management Plan, March 10, 2009, Cal Fire Defensible Space Guidelines and Public Resources Code and Fire Safe from the Scorem County Fire Code (LL037) for further maintenance requirements. Hydroseed 1 gal + 5 gal F/831.655.3462 111 Rhamnus californica 'Eve Case' Eve Case Coffeeberry 5 gal + 15 gal as shown 537 Houston Street Quercus engelmannii Pasadena oak 48" box as show 87,387 sq. ft. Danthe NATIVE OPEN MEADOW No Irrigation Monterey, CA 93940 0 109 Rhamnus californica 'Leatherleaf' Leatherleaf Coffeeberry 5 gal + 15 gal as show Danthonia californica Eschscholzia californica Festuca idahoensis Festuca rubra 'Molate' Lupinus bicolor California Oatgrass California Poppy Idaho Fescue Molate Red Fesuce Miniature Lupine Deer Grass Hydroseed Hydroseed Hydroseed Hydroseed Hydroseed 1 gal + 5 gal GROUNDSTUDIO.COM Quercus kelloggii Black Oal 36" box, 48" box as show Ouercur Johata Valley Oak 36° box, 48" box as show Muhlenbergia rigens 32 Quercus wislizeni Interior live oak 36" box, 48" box as show CENTRAL COURTYARD Drip Irrigation 1 gal 1 gal 1 gal + 5 gal 3,130 sq. ft. Achillea spp. Eschscholzia californica Yarrow spp. California Poppy California Fescue Eschscholzia califorr Festuca californica WOODLAND TASTING GARDEN Drip Irrigation 5.134 sq. ft. Arctostaphylos 'Emerald Carpet' Emerald Carpet Manzanitas 1 gal + 5 gal Arctostaphylos 'Pacific Mist' Pacific Mist Manzanita 1 gal + 5 gal Muherborgia rigens Deer Grass 1 gal + 5 gal Total (N) Oaks to be Planted: 155 Grand Total (N) Trees to be Planted: 159 itive trees regenerating from fire damage to be storted and maintained as site conditions allow 20 0 Ó O 10 THE KENWOOD 1.0 til RANCH WINERY °° Y 11 0 · · · 0.0. 0 0 1180 Campagna Lane 0.06 Kenwood, CA 95409 36 ji ____ 0 APN: 051-260-013 Issue set: REVISED DRC DRAWINGS C 1000 Issue date: 07.06.22 (\cdot) 1.1 ŤFI Revisions: 14 DEV DESCRIPTION DATE È DESIGN REVIEW 12.23.21 REVISED DRC DRAWINGS 07.06.22 . 6 MATCHLINE 0 r!C **Planting Plan** Riparian Preserve revegetated per Vegetation Management plan dated 3.0.2009. Species to include Quercus lobata, G. agrifolia, O. kelloggi, and Acer Macrophyllum. Size will vary, minimum 2.5" x 10° containers. Scale: 1" = 50' Drawn by: H L3.0 \oslash 25' 50'

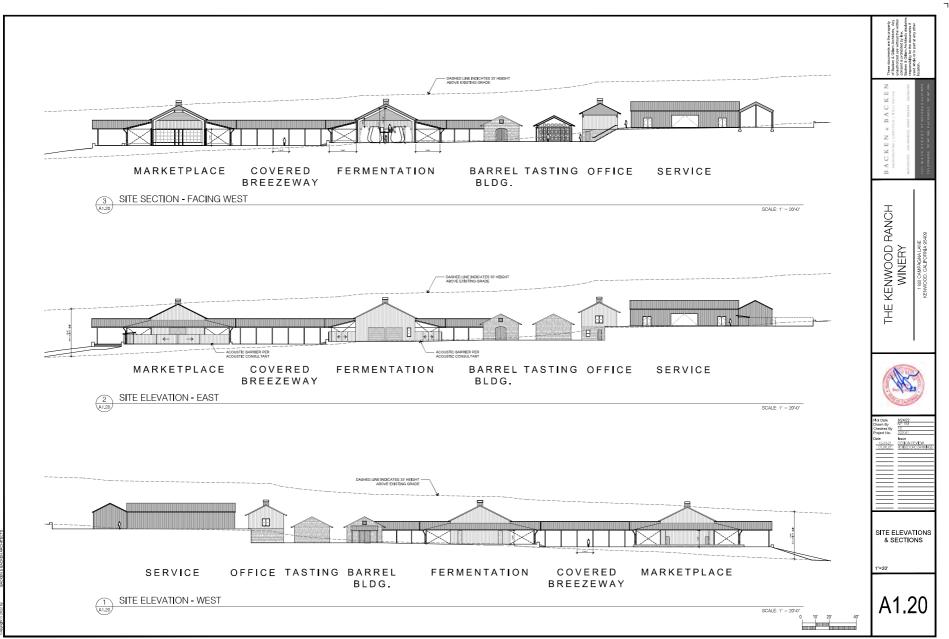


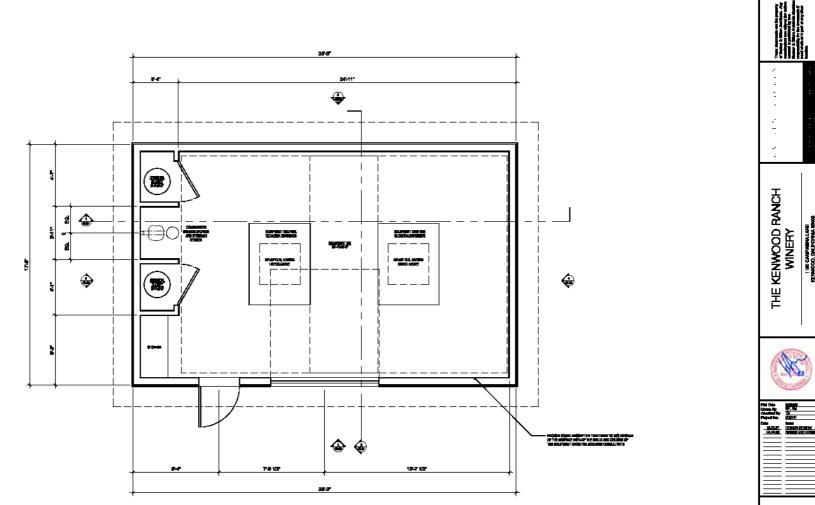










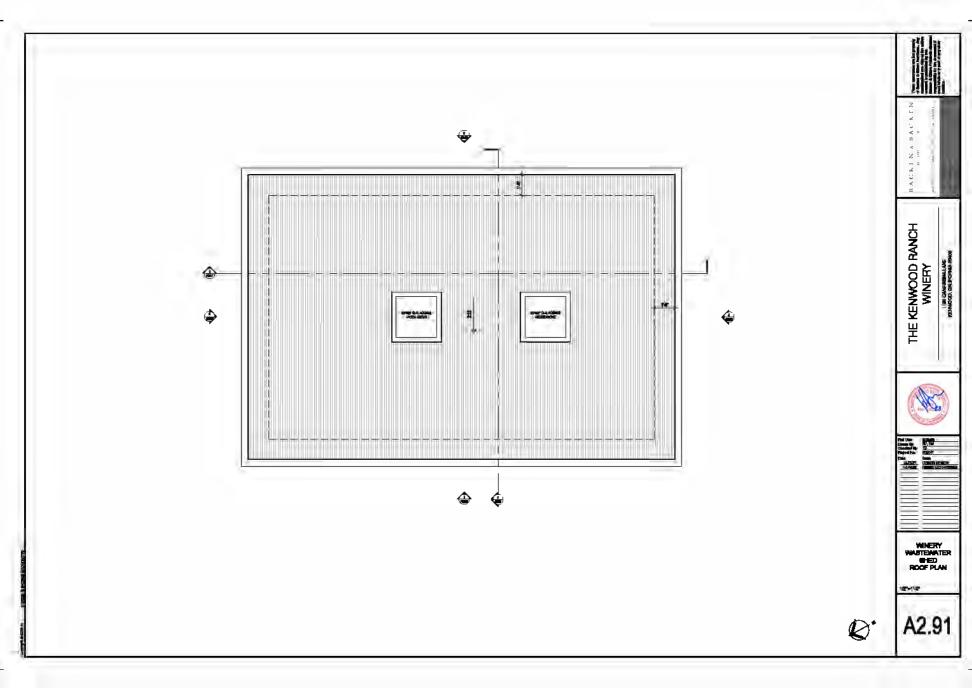


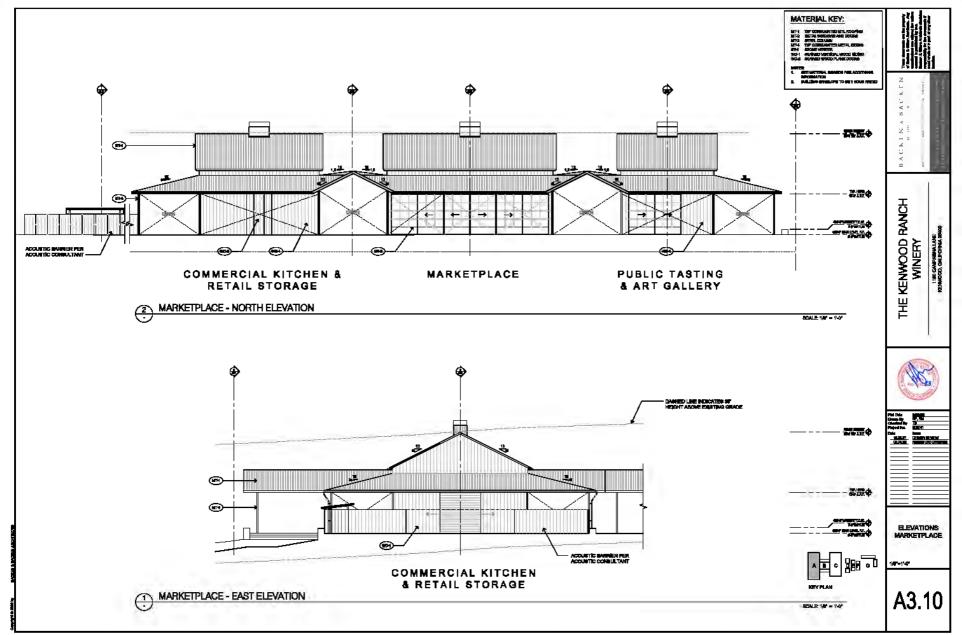
WINERY WARTEMATER SHED FLOOR PLAN

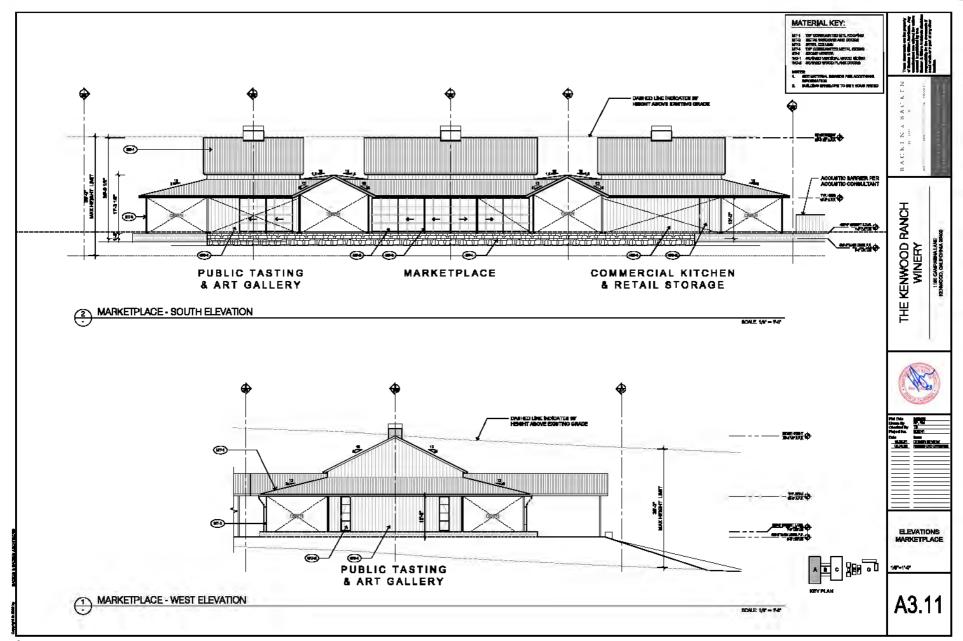
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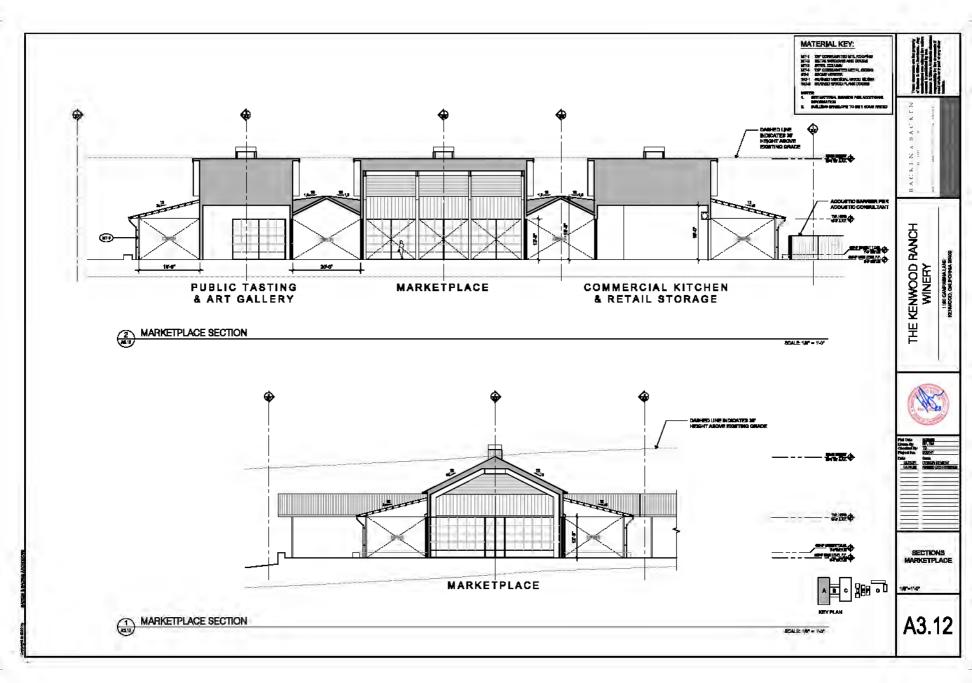
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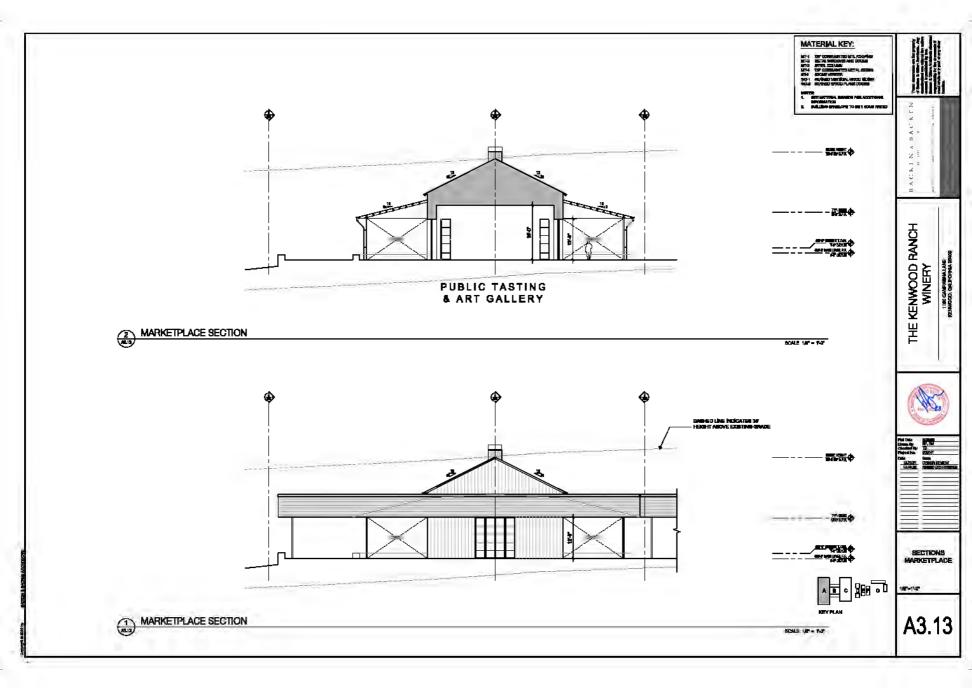
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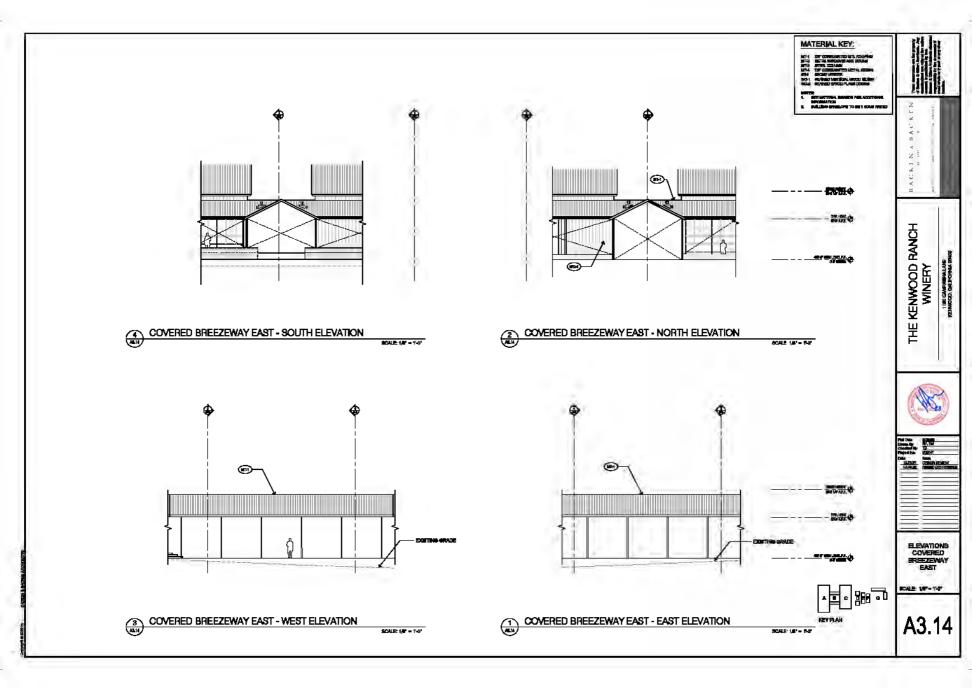


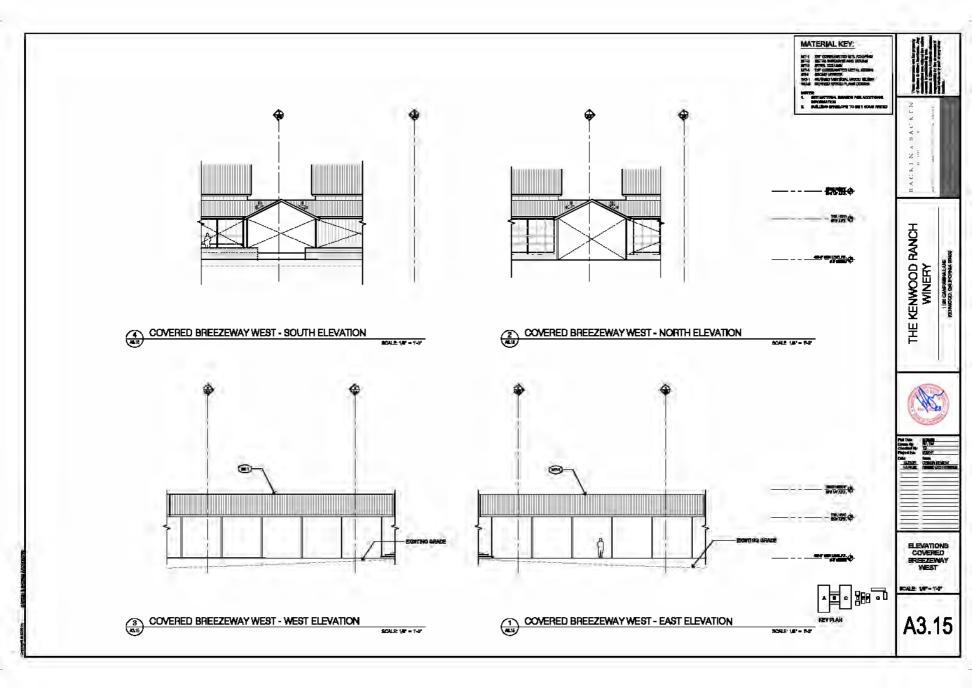


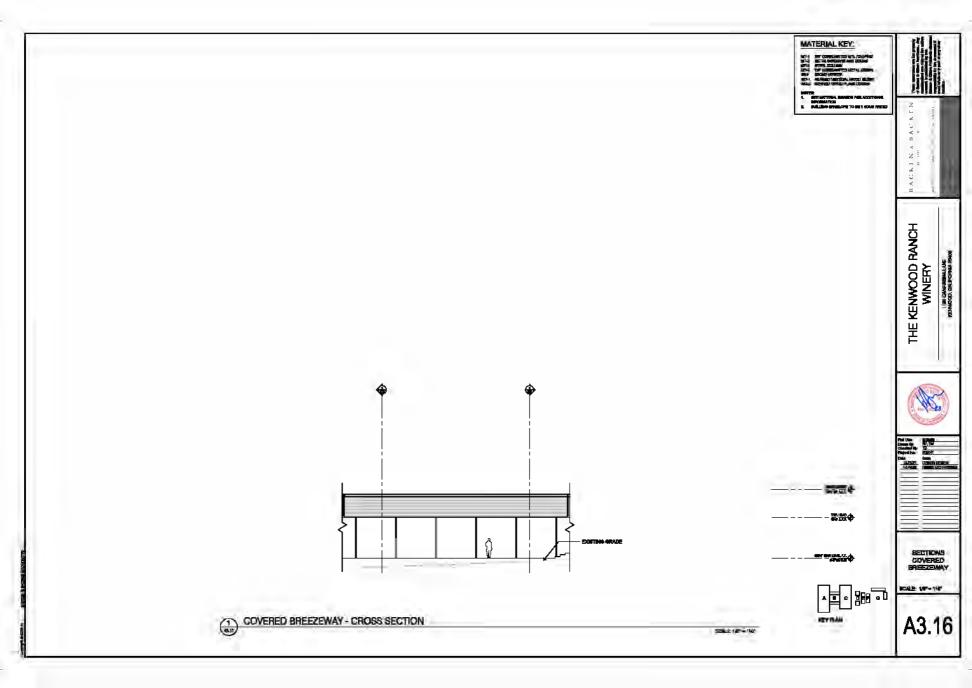


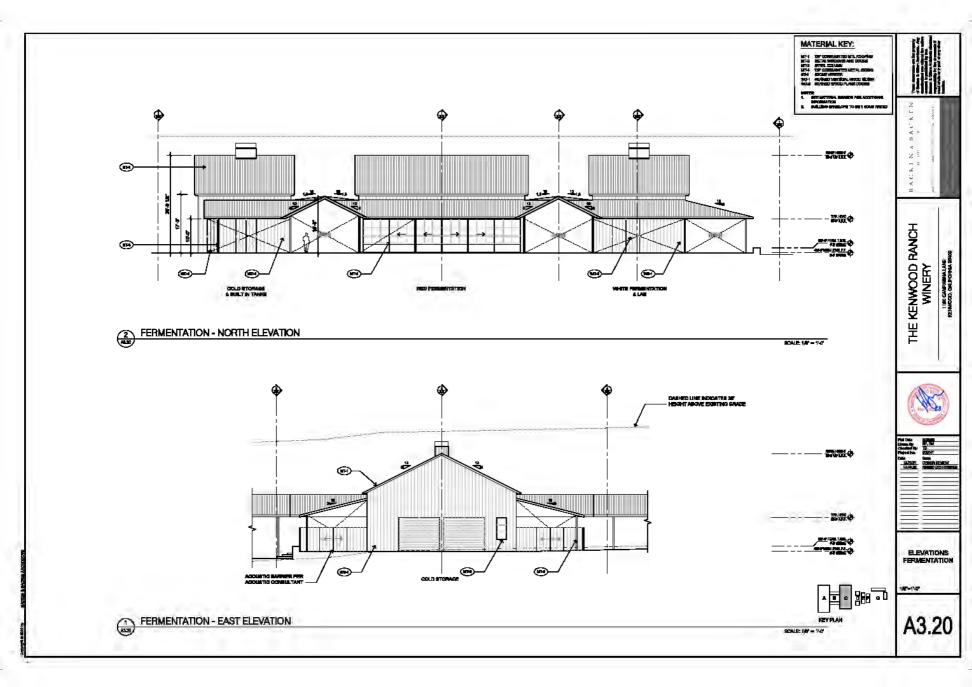


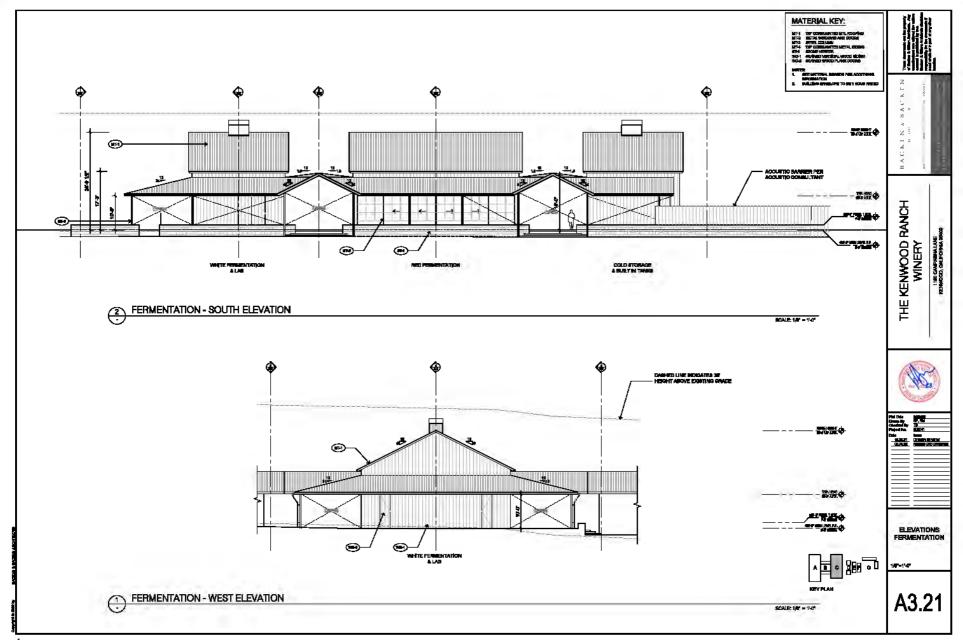


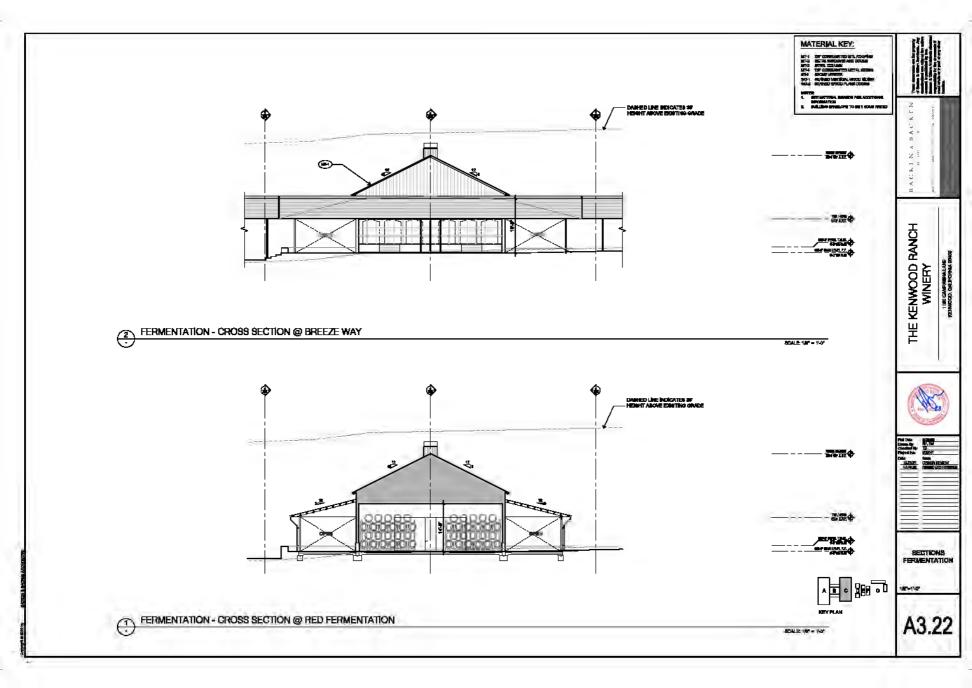


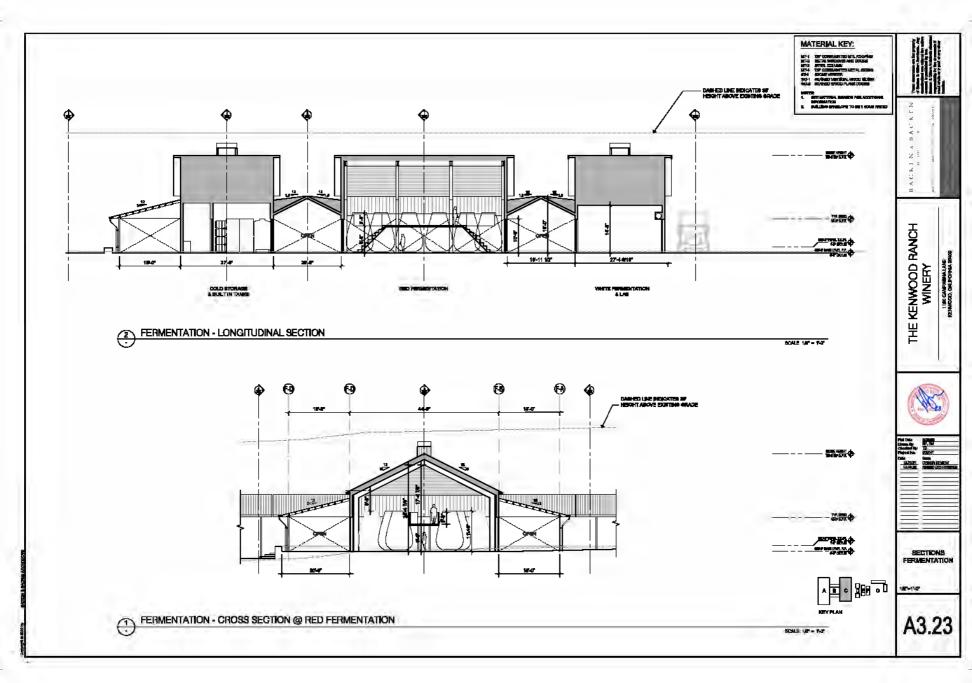


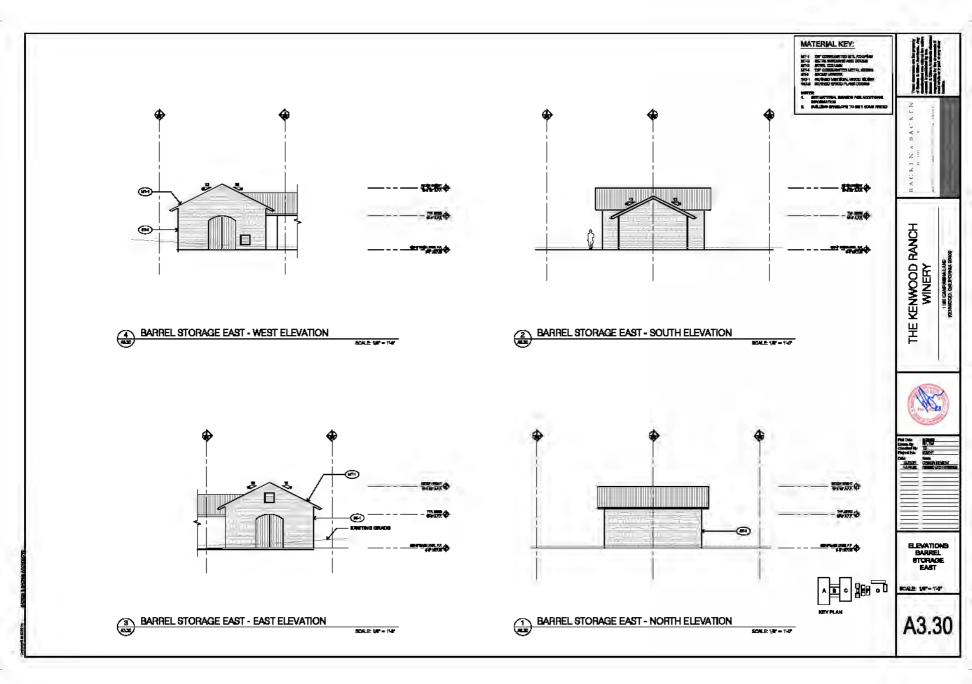


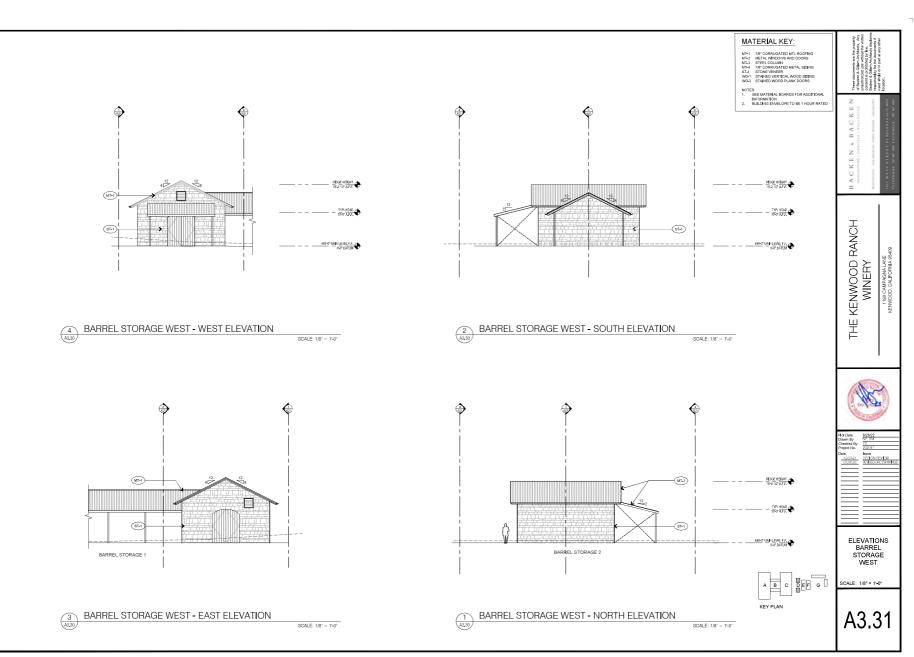






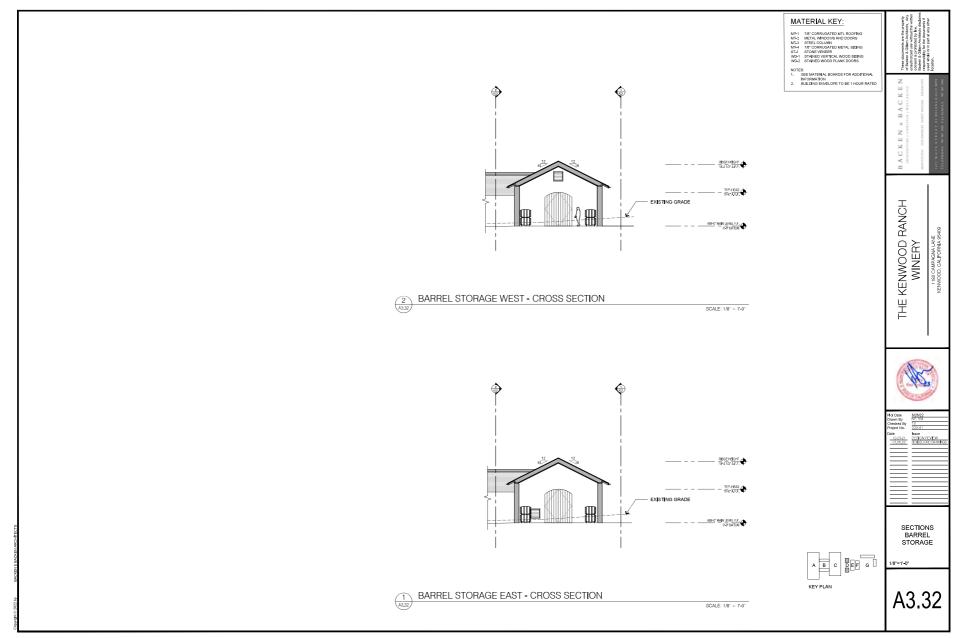


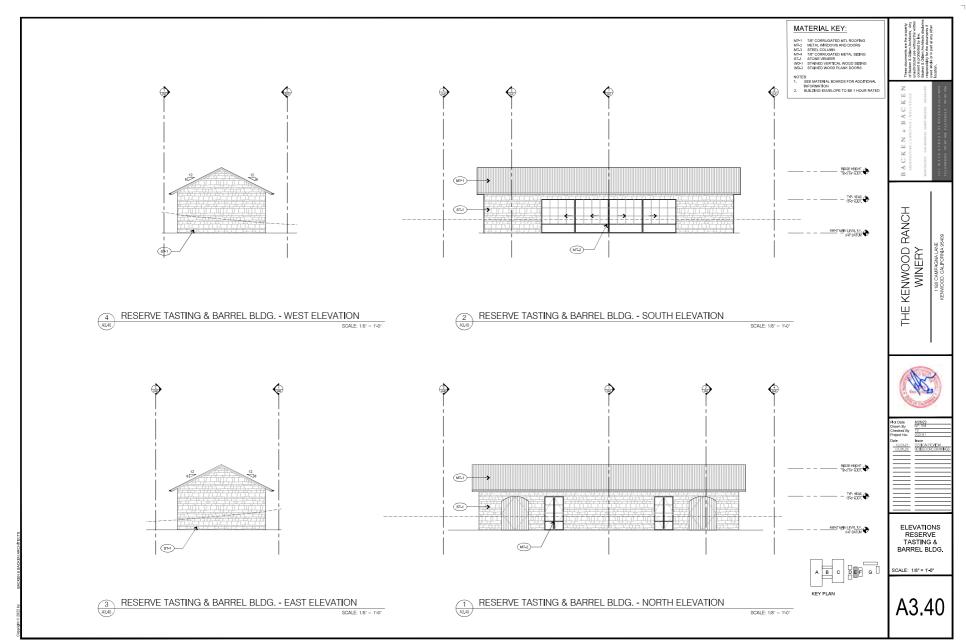




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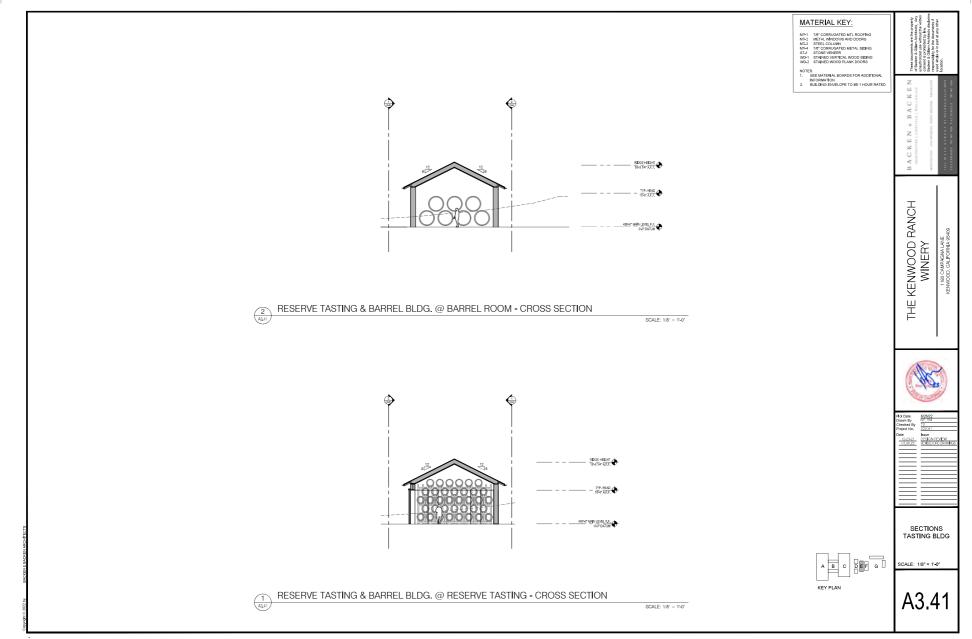
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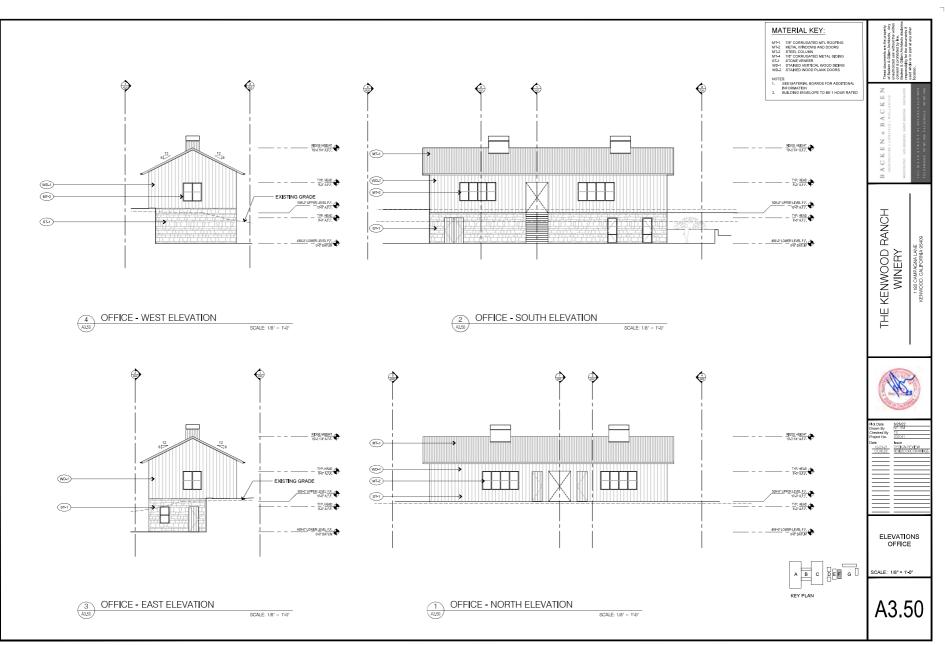




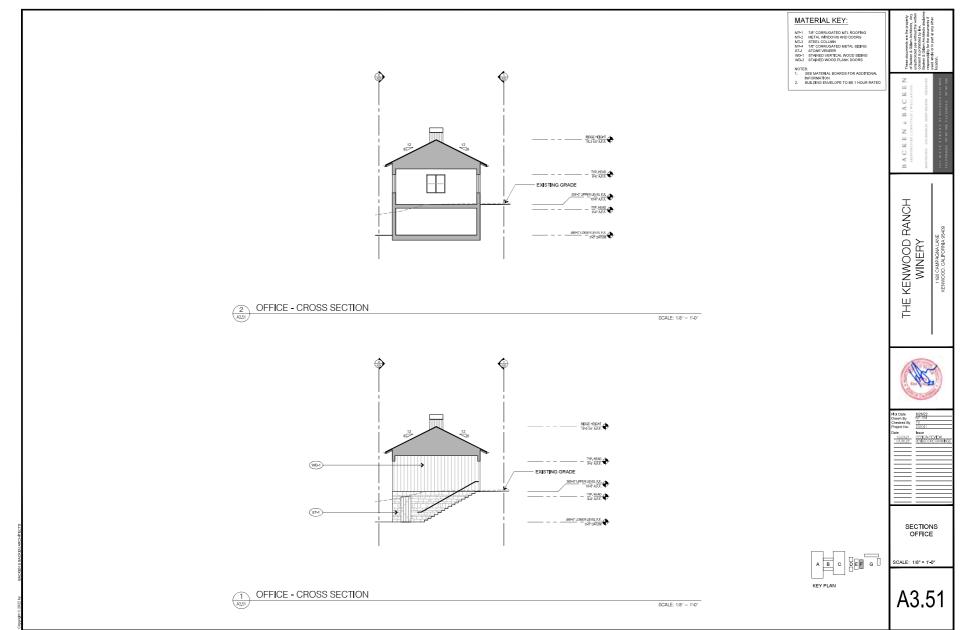
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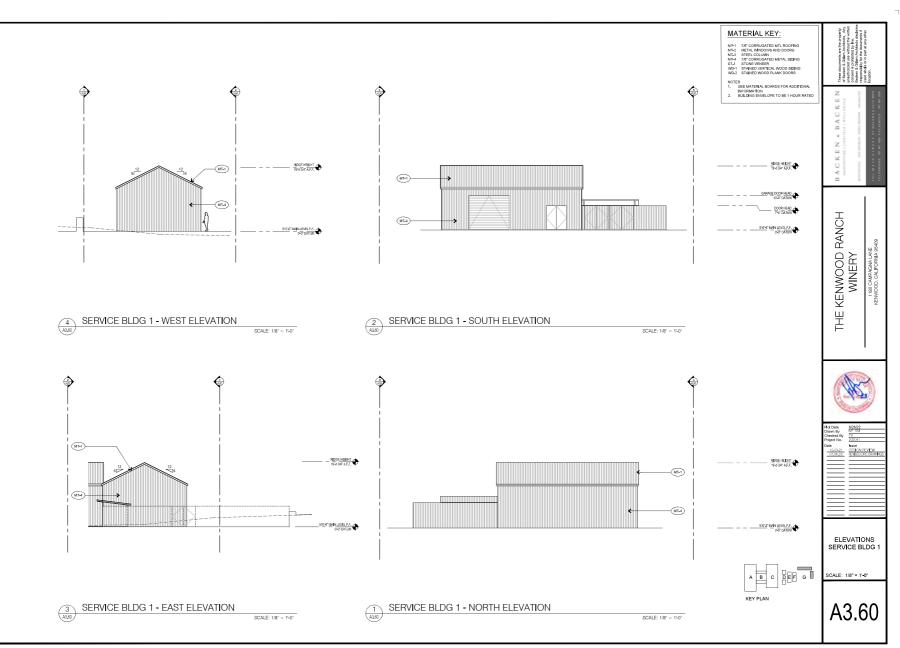




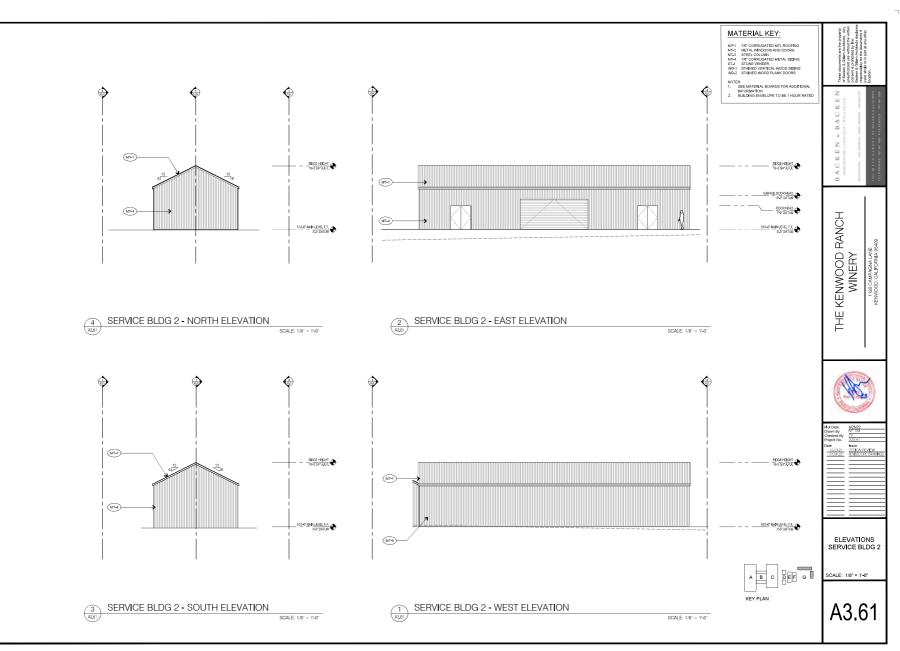
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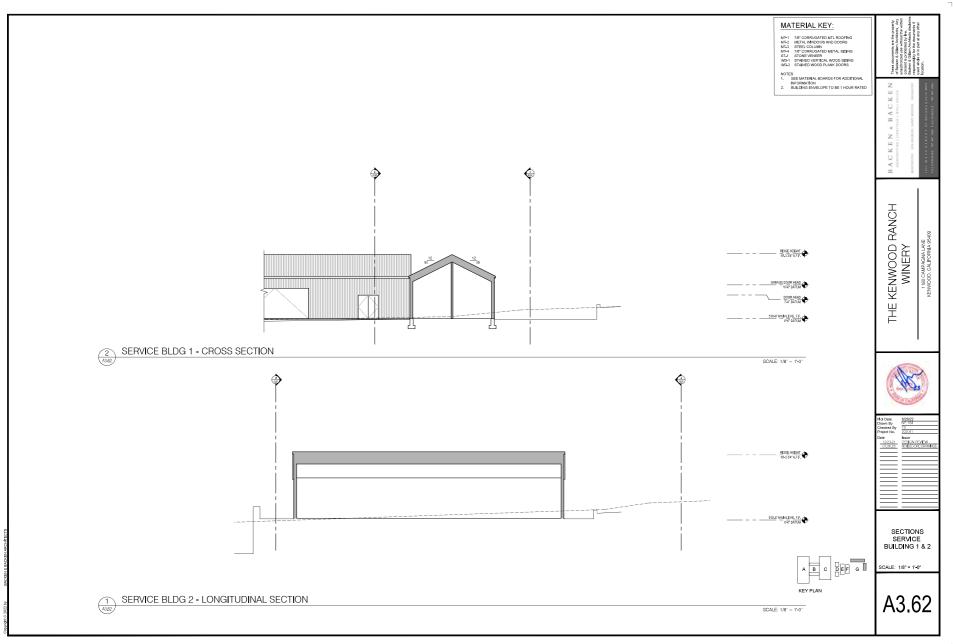


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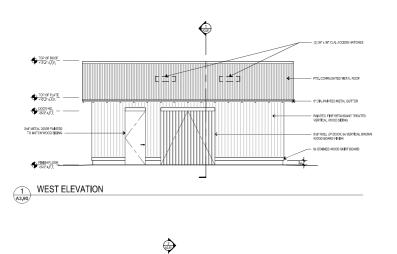
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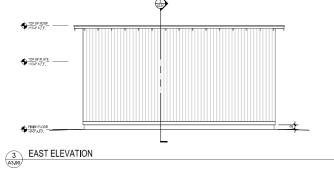


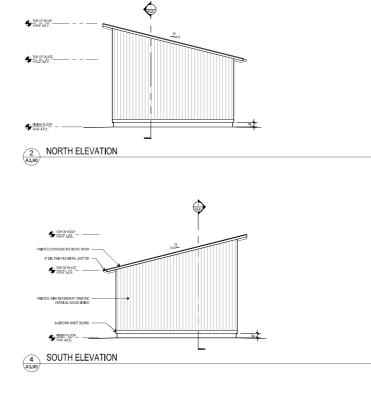


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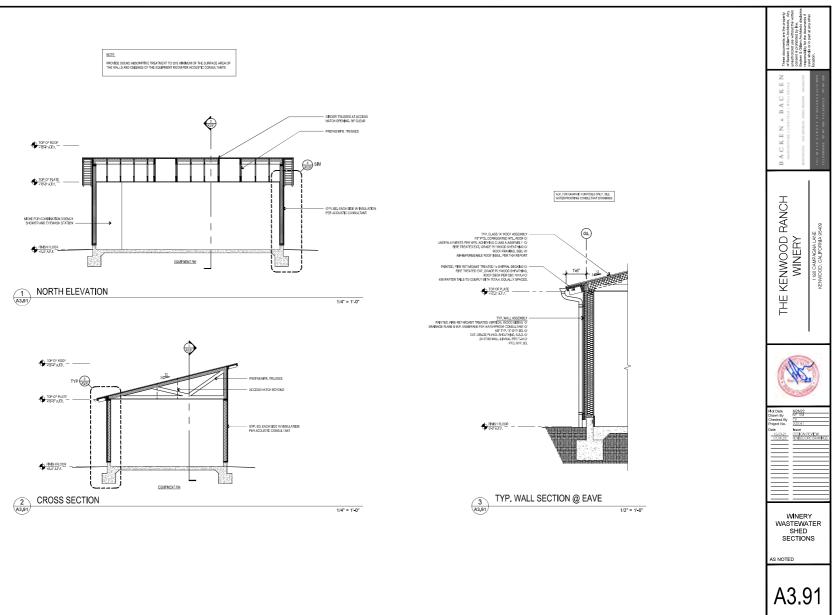




WINERY WASTEWATER SHED ELEVATIONS

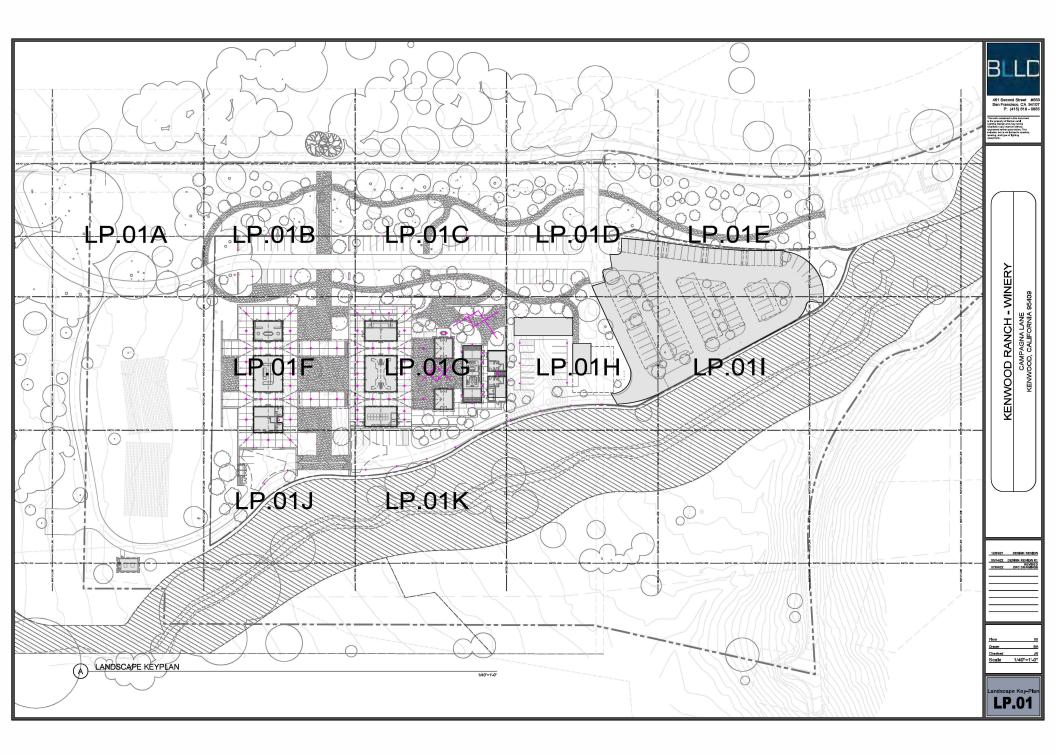
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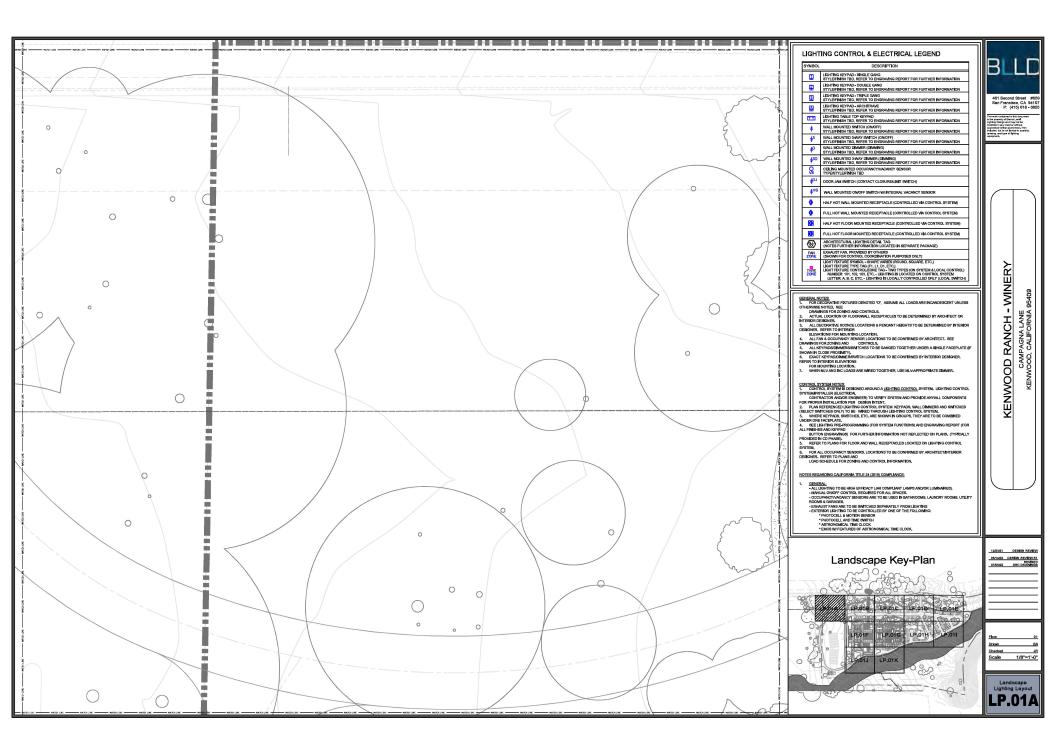
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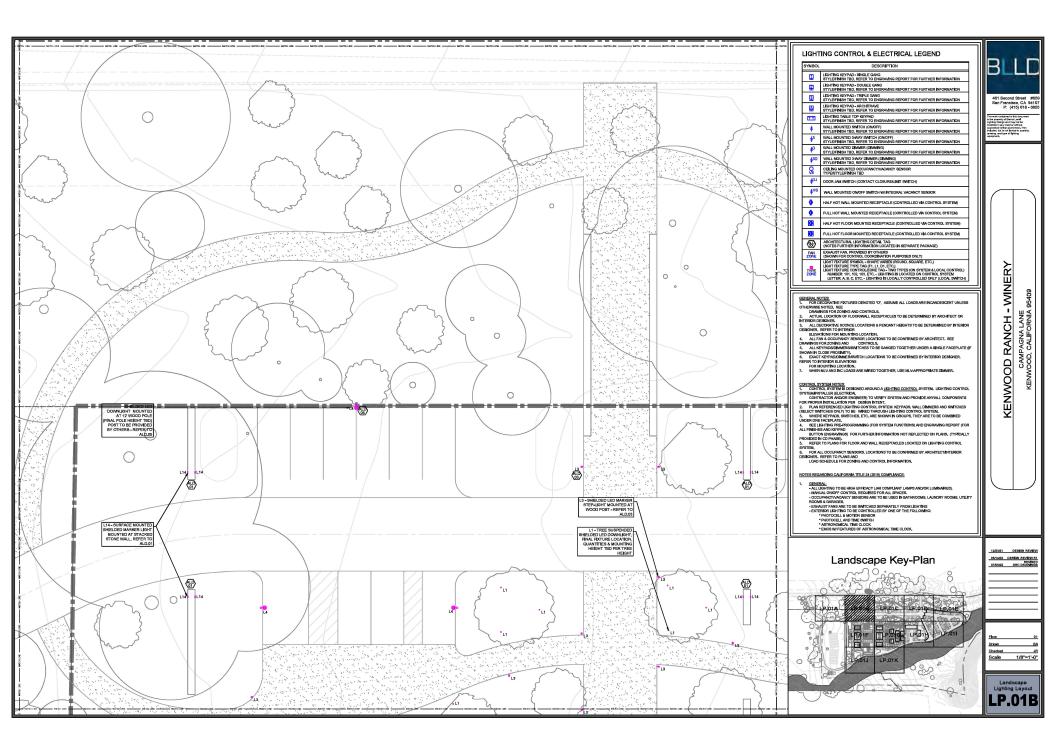


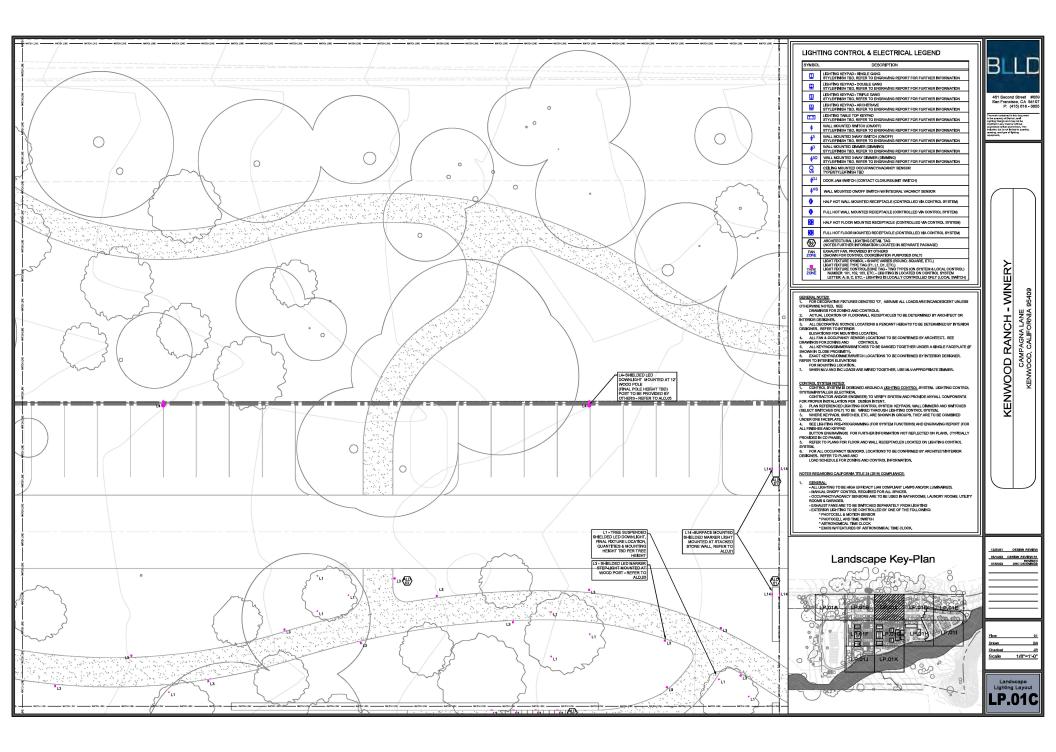
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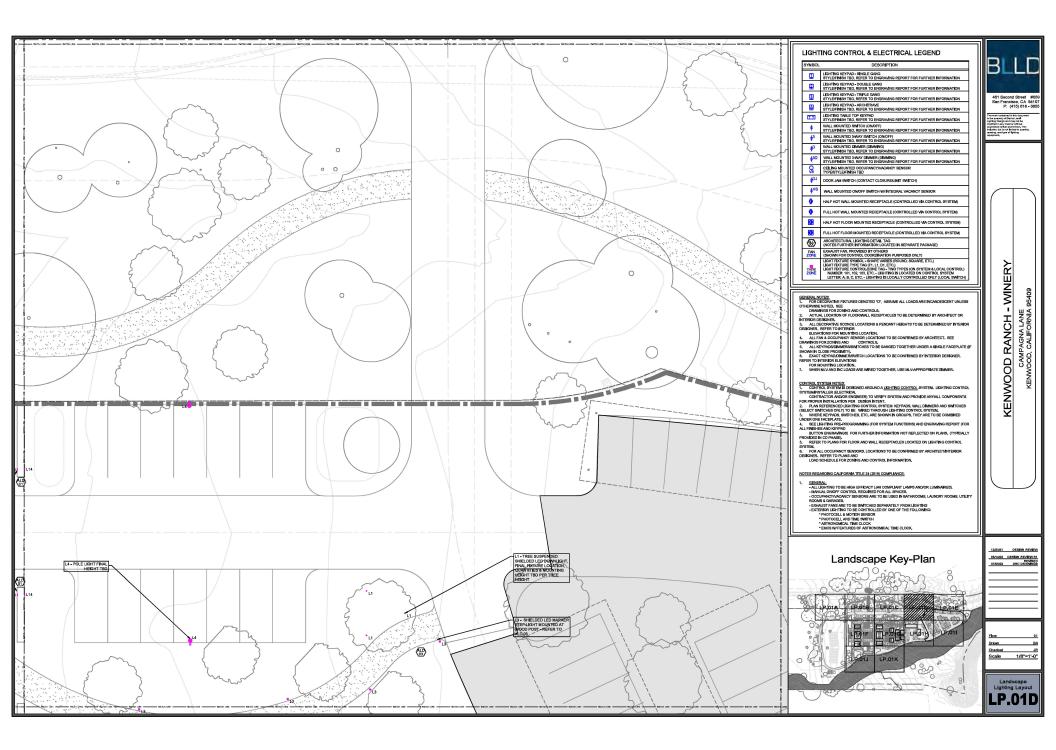
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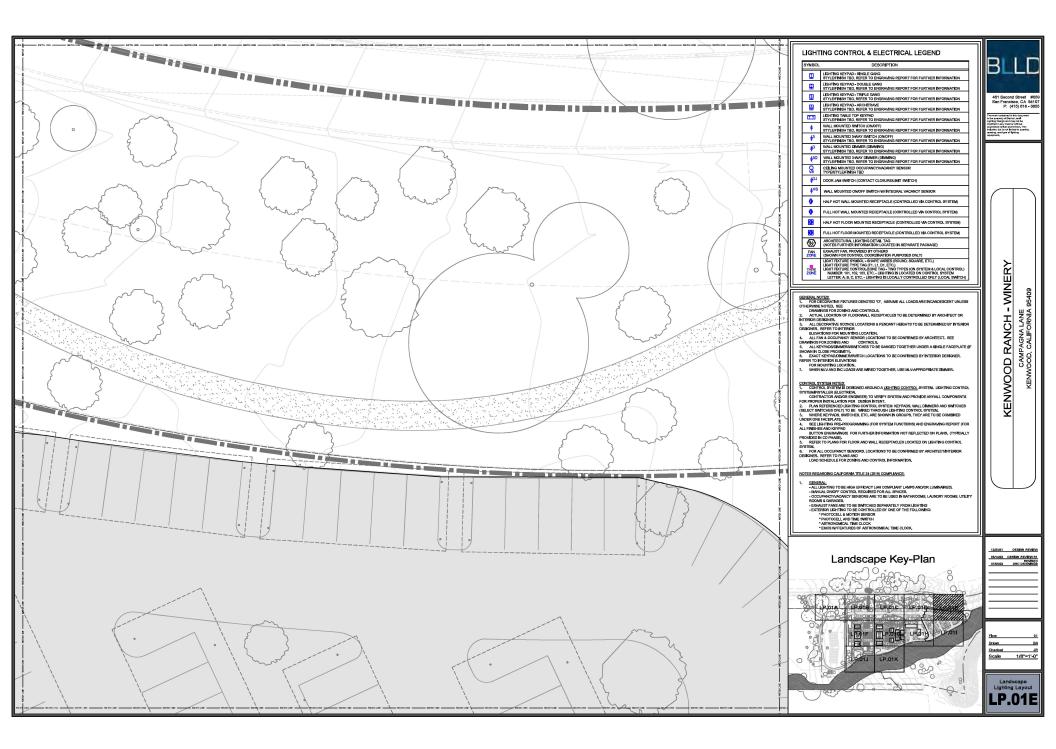


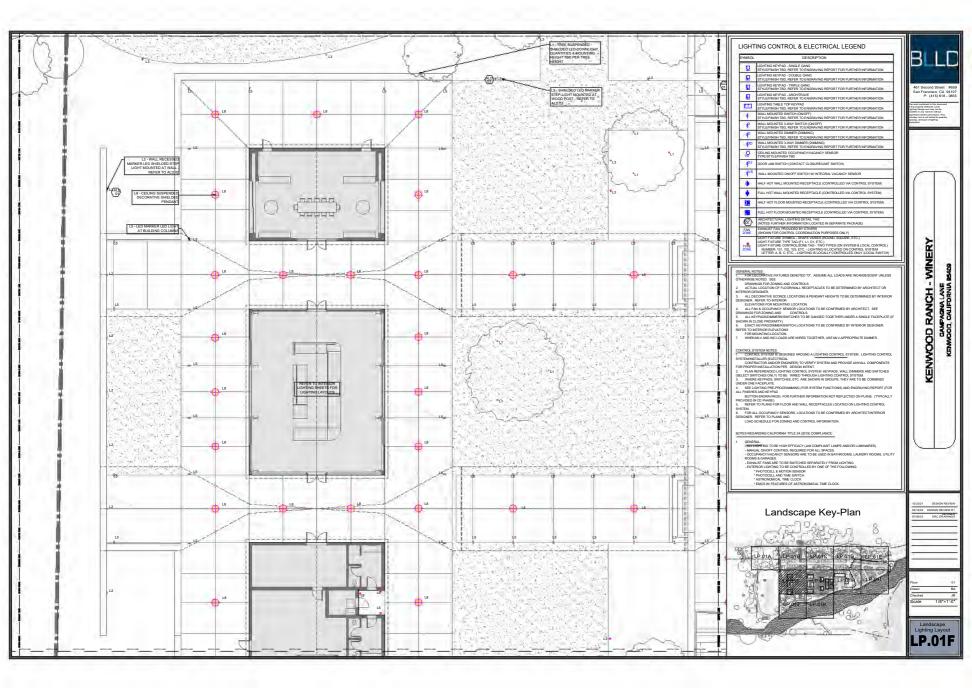


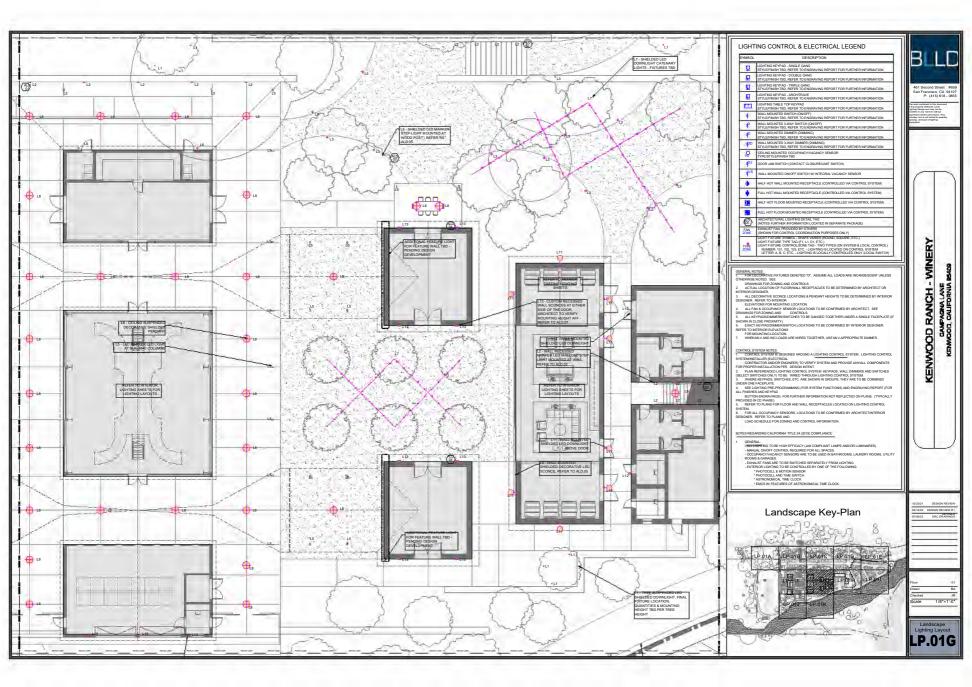


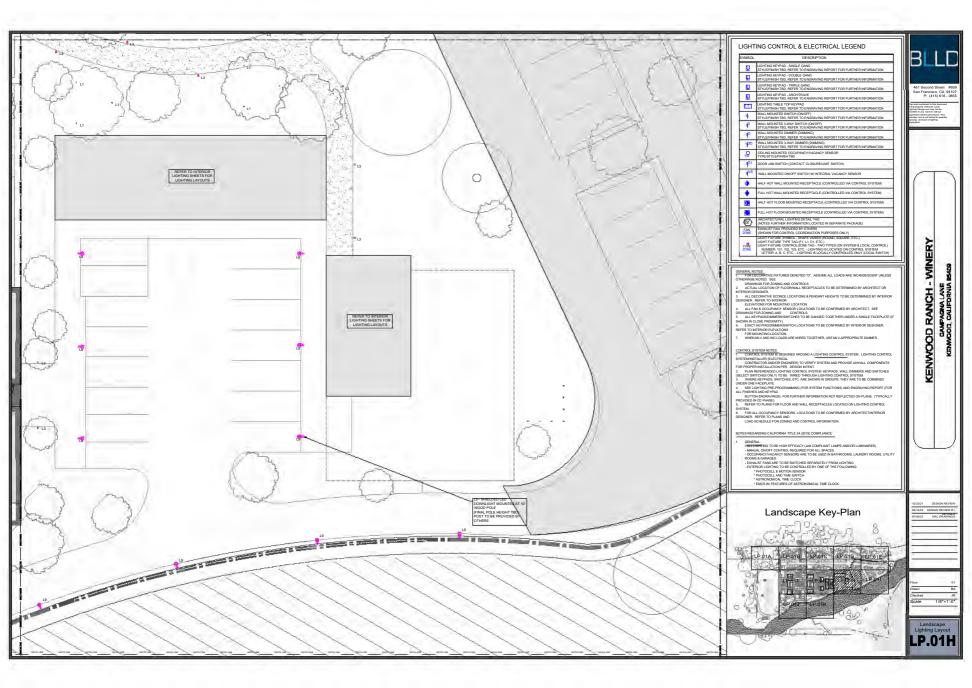


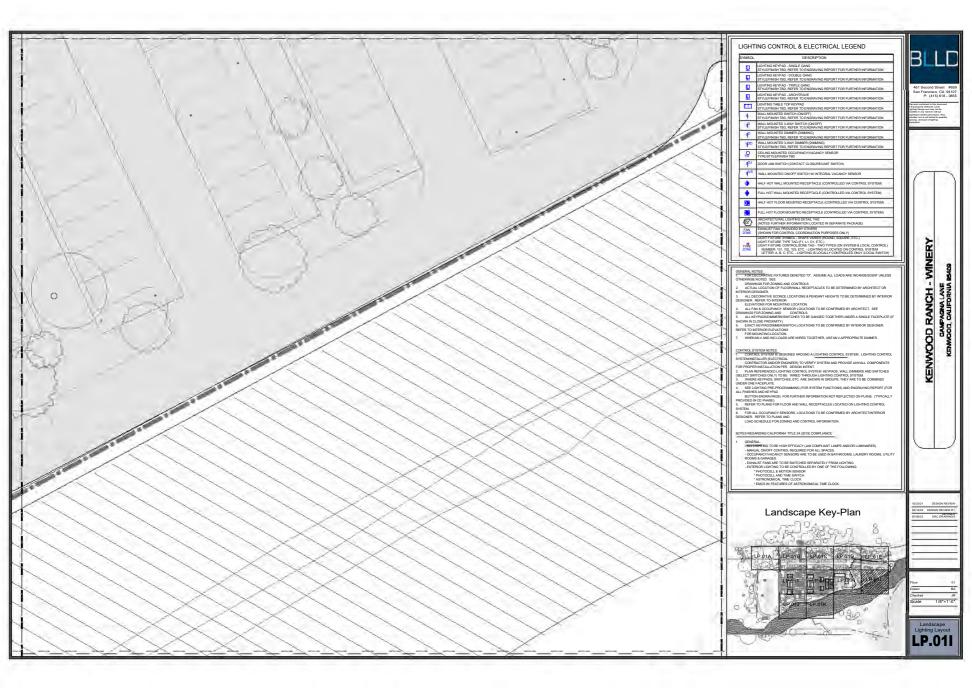


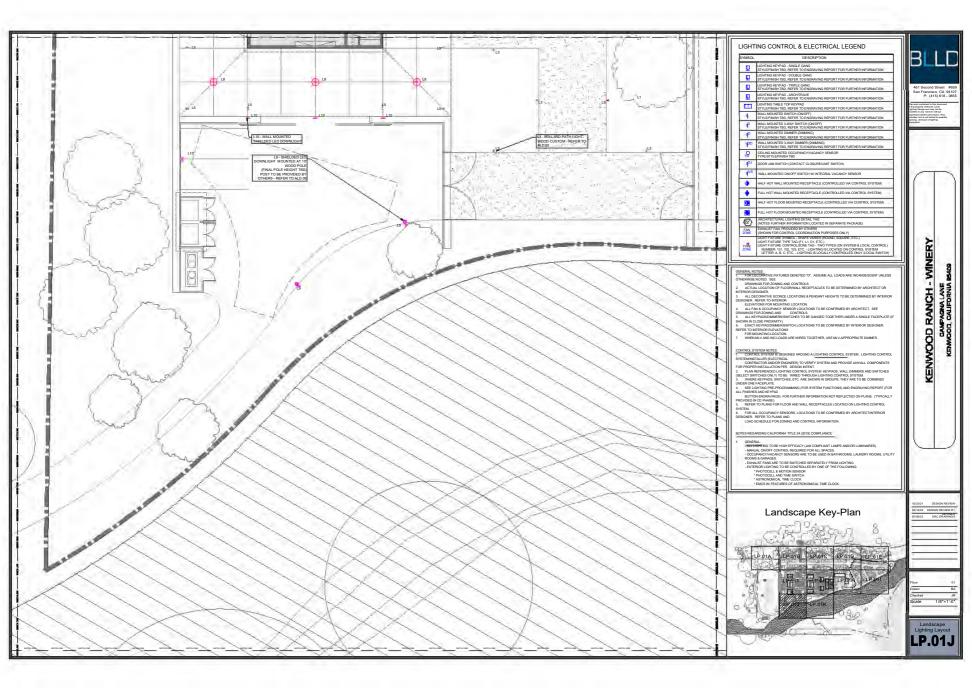


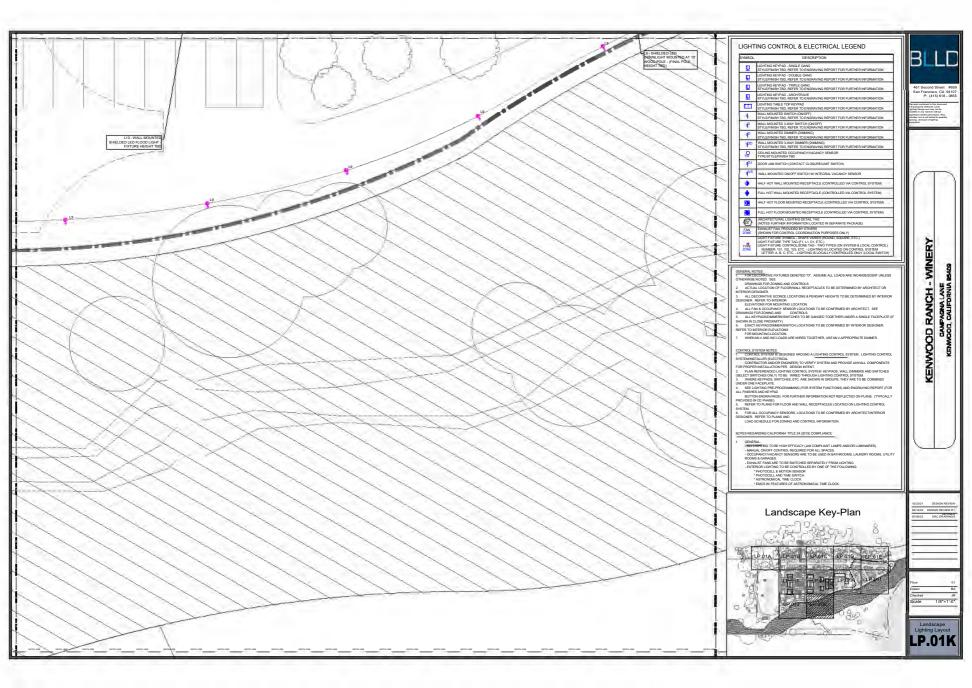




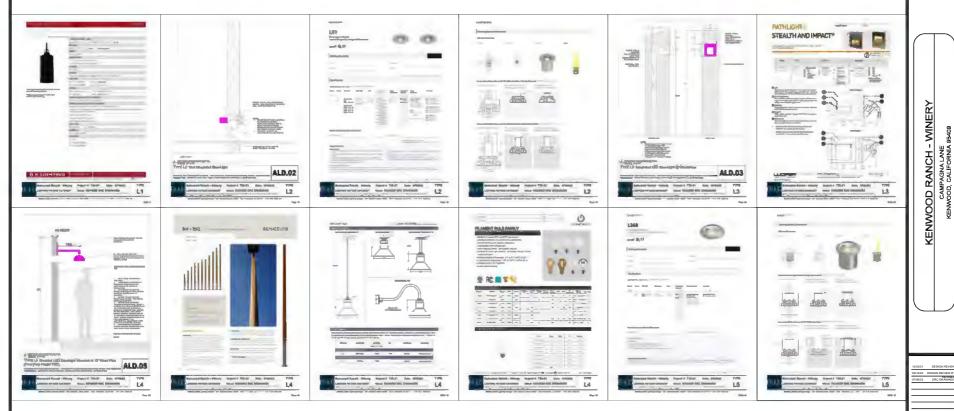








461 Second Street #659 San Francisco, CA 94107 P: (415) 618 - 0855



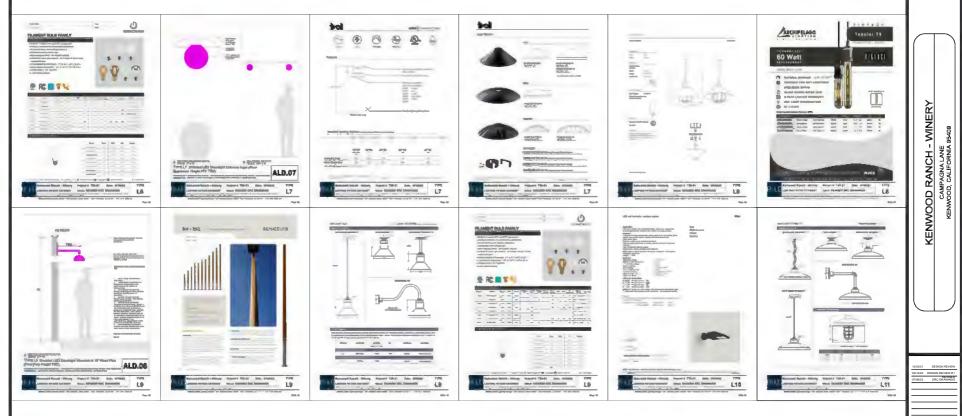
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Landscape Lighting Cutsheets

461 Second Street #659 San Francisco, CA 94107 P: (415) 618 - 0855

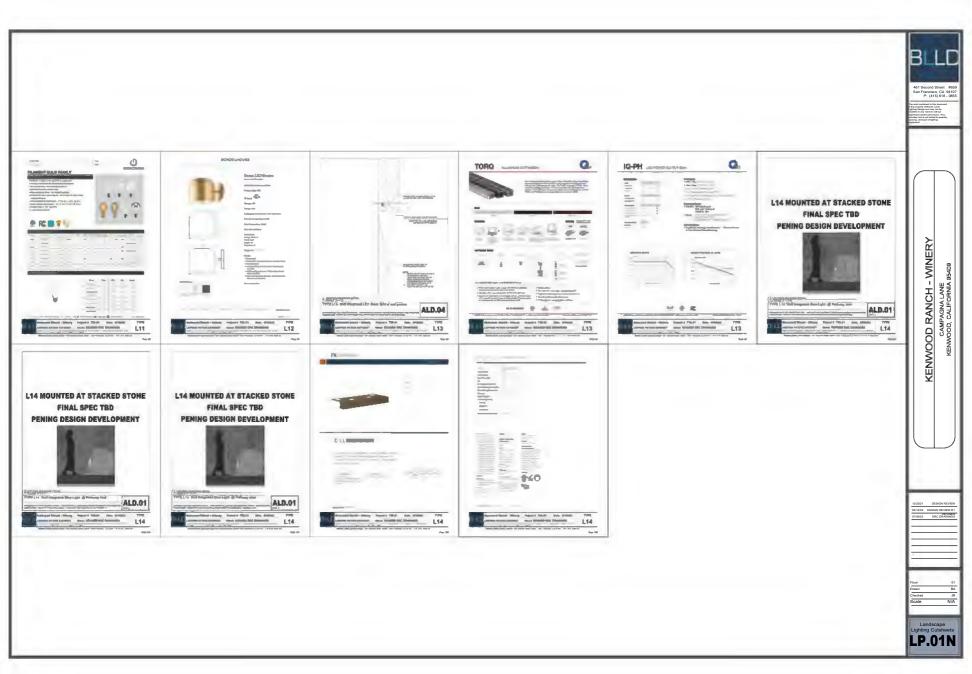
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Landscape Lighting Cutsheets



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