

DESIGN REVIEW COMMITTEE RECORD OF ACTION

April 7, 2021

ITEM NO: 2
Time: 1:35 pm
File No.: DRH21-0003

Subject: Camping Resort, "River Electric"
Applicant: ShelterCo / Kelsey Sheofsky
Staff: Gary Helfrich

Location: 16101 Neeley Road, Guerneville
APN: 071-290-030 **Supervisory District:** No. 5

Proposal: Preliminary Design Review for a new camping resort (approved through UPE11-0034), which will be open to the public for overnight stays for up to 80 guests. New construction will include three new structures: a snack bar, restroom/shower facilities, and a proposed check-in/store area. Associated improvements include two new driveway/parking areas, a gravel courtyard, and four pools. The project is located on an 11.55-acre parcel.

Zoning: K, F2 LG/116 LG/RRC RC50/25 SR VOH

CEQA Review: Exempt **Final Authority:** BOS

Related Actions: Final Board approval of UPE - February 9, 2021

ATTENDANCE

Committee: Don McNair, Jim Henderson, Derik Michaelson
Staff: Gary Helfrich
Applicant: Kelsey Sheofsky; Shelter Co
Others: Members of public

REVIEW LEVEL: Preliminary Final Review Conceptual

ACTION: RETURN FOR FINAL REVIEW

COMMENTS *

Project Design

Site Plan:
 Architecture:
 Parking Design:
 Landscaping:
 Color/Materials:
 Signage:
 Lighting:
 Other:

Approve	Further Review	Final Details	Staff Clearance
	X		
		X	
	X		
		X	
		X	
		X	
		X	

VOTE: Don McNair Jim Henderson Derik Michaelson

Ayes: 3 Noes: 0 Absent: 0 Abstain: 0

**COUNTY OF SONOMA
DESIGN REVIEW COMMITTEE RECORD OF ACTION
COMMENTS / CONDITIONS**

Applicant: ShelterCo / Kelsey Sheofsky
Address: 16101 Neeley Road, Guerneville
APN: 071-290-030

Date: April 7, 2021
File: DRH21-0003
Action: RETURN FOR FINAL REVIEW

NOTE: Applicants shall submit project revisions as specified below. A written response addressing each comment is required. Final comments shall be confirmed by planning staff during permitting.

GENERAL

1. DRC generally supports the project design and offers the following comments for final review

SITE PLAN

2. Identify individual tent site locations

Please see new plans with tent locations notated.

3. Consider pool orientation to take advantage of shading opportunities

We have explored a few different orientations for both the pool and buildings and feel this is the best orientation for the desired flow. The addition of trees in our planting plan, as well as the generous redwoods and firs on the south side of the property, will add a significant amount of shade.

ARCHITECTURE

4. Consider incorporating similar ocular style design openings for snack bar building

We will be including an oculus tile motif in the floor of the snack bar building to maintain maximum sun and rain coverage in the ceiling while still carrying the circular theme throughout the design.

5. Provide exterior elevations for main trash enclosure and individual receptacle concept.

Provided in new plan set. Please see detail on page 11 of the Design Review Set.

PARKING / CIRCULATION

6. Consider a more meandering style configuration broken into separate smaller parking areas.

We have a singular check in location so feel one parking lot that feeds into one welcome building is necessary for our business functions. We have added more islands of greenery and trees to create a space that is more welcoming and one with the rest of the property. The access drive on the north side of the property is for service and staff only - shifting parking in this area could be disruptive to the flow of day to day operations onsite. We have also identified the northwest corner of the property as the most suitable for parking due to the grading limitations on site. Expanding, fragmenting, or relocating the lot would require more clearing, grading, and tree removal within the floodplain.

7. Incorporate opportunities for establishing natural planting tree patterns throughout parking design.

Rendering provided in new plan set.

8. Consider appropriate fencing and/or landscape solution for buffering adjacent parcel from parking area and potential headlight spillover.

Rendering provided in new plan set showing 7' opaque wood fence. This plan has been reviewed with the neighboring property owners.

LANDSCAPING

9. Consider tree protection zones to avoid conflicts with surface material placement and compaction.

Noted. These will be included in our permit and construction document drawings and any site operations/project manual required for the project.

10. Consider appropriate tree planting selections within camp site interior and parking areas.

Noted. The tree and plant palette will be regionally appropriate and largely native material.

COLORS / MATERIALS

11. Include for final review an colors and materials sheet for all exterior finishes and surfaces

Materials sheet provided in new plan set.

12. Clarify specific gravel mix for drive isles, parking surfaces, and interior paths

For pedestrian paths, assume 1" compacted and stabilized decomposed granite (Kafka wax polymer pathway mix or similar) top dressing over 2" thick layer of 50% 3/8" crushed rock and 50% granite fines mixed with organic stabilizer @ 12lbs/cy. Over 3" layer of compacted aggregate base. Edges to be confined with 1/4" steel edging at 6" deep.

For vehicular driveway and parking, assume 3/8" 'Sierra Tan' (or similar) gravel at 3/4" thick over 4" crushed rock and 8" compacted aggregate base. (Final base/aggregate depths pending civil review and Geotech report recommendations)

LIGHTING

13. Submit final lighting plan and cut sheet details, including for parking and trash enclosure areas

Lighting details provided in new plan set.

14. Consider use of bollard style fixtures to the extent possible where feasible

Lighting details provided in new plan set.

SIGNAGE

15. n/a

OTHER

16. n/a

PUBLIC COMMENTS

None Attached Noted:

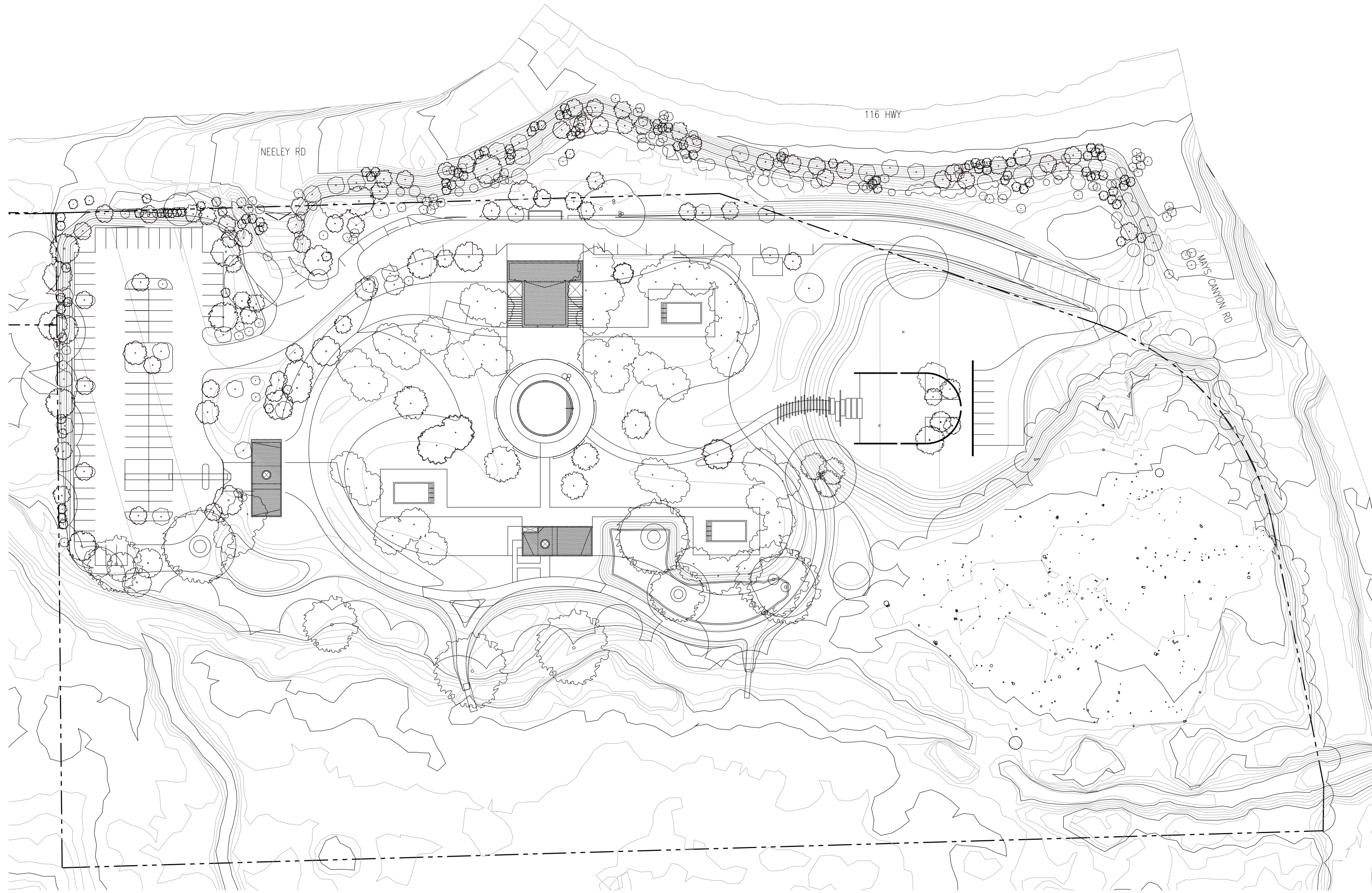
ATTACHMENTS

1. Public comments

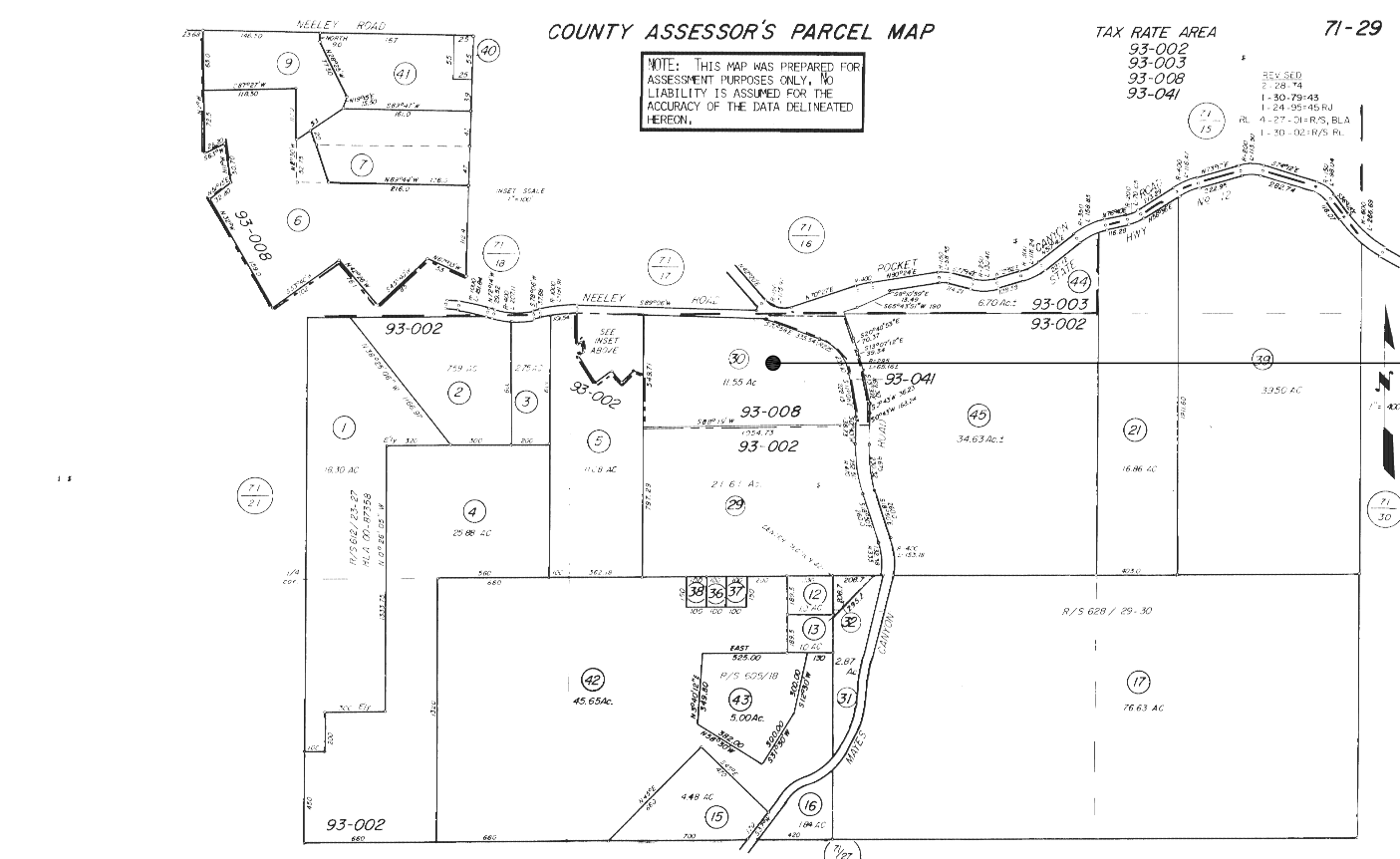


**Ryan Leidner
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1 SITE PLAN - PROPOSED
1/8" = 1'-0"



**LOCATION OF
PROPERTY**

2 ASSESSOR'S MAP
N.T.S.

PROJECT ADDRESS

16101 NEELEY RD
GUERNEVILLE, CA 95446
APN: 071-290-030-000

PROJECT INFORMATION

OWNER: MKOR HOLDINGS LLC
4040 3RD ST.
SAN FRANCISCO, CA 94124
PH: 415 987 5014

SCOPE OF WORK

THE PROJECT PROPOSES TO DEVELOP THE PROPERTY INTO A CAMPING RESORT CALLED "RIVER ELECTRIC". THE PROPERTY WILL BE AVAILABLE FOR NIGHTLY CAMPING RESERVATIONS AS WELL AS PROVIDING A DAY-USE POOL AREA. THE DEVELOPMENT PLANS INCLUDE A CAMP OFFICE, GENERAL STORE, RESTROOM/SHOWER BUILDING, 4 POOLS, SMOKER BAR, AND A CAMPGROUND TO SLEEP UP TO 80 GUESTS.

**BUILDING DATA &
PLANNING CALCULATIONS**

ZONING
PARCEL: 071-290-030
JURISDICTION: UNINCORPORATED SONOMA COUNTY
ZONING: K, F2 LG/116 LG/RRR RC50/25 SR VOH
LAND USE: RVSC
PLANNING DISTRICT: 4 - RUSSIAN RIVER
LOCAL AREA DEV. GUIDELINE: 116 SCENIC HIGHWAY CORRIDOR, RUSSIAN RIVER CORRIDOR DESIGN

SQUARE FOOTAGE CALCS

EXISTING BUILDING
TOTAL LIVING: 1,080 SF
TOTAL: 1,080 SF
LOT COVERAGE
LOT AREA: 11.55 ACRES (503,118 SF)
TOTAL: 11.55 ACRES (503,118 SF)

SHEET INDEX

- A0 COVER SHEET / SITE PLAN
- A0.1 SITE PLAN - EXISTING / DEMO
- A0.2 SITE PLAN / ROOF PLAN - PROPOSED
- A2.1 FLOOR PLAN KNOLL - PROPOSED
- A2.3 FLOOR PLAN POOL BATH - PROPOSED
- A2.5 ROOF PLAN POOL BATH - PROPOSED
- A2.7 FLOOR PLAN POOL BAR - PROPOSED
- A2.10 ROOF PLAN POOL BAR - PROPOSED
- A2.12 FLOOR PLAN WELCOME BUILDING - PROPOSED
- A2.14 ROOF PLAN - WELCOME BUILDING PROPOSED
- A2.15 ACCESSORY BUILDING PLANS, ELEVATIONS - PROPOSED
- A2.16 SCHEDULES
- A3.0 POOL BATH SECTIONS - PROPOSED
- A3.1 POOL BAR SECTIONS - PROPOSED
- A3.2 WELCOME BUILDING SECTIONS - PROPOSED
- A4.0 POOL BATH ELEVATIONS - PROPOSED
- A4.1 POOL BAR ELEVATIONS - PROPOSED
- A4.2 WELCOME BUILDING ELEVATIONS - PROPOSED
- A4.3 KNOLL ELEVATIONS - PROPOSED

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ELECTRICAL CODE AND OTHER APPLICABLE SECTIONS OF THE SONOMA COUNTY MUNICIPAL CODE.
2. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON SITE.
3. ANY ERRORS, OMISSIONS, DISCREPANCIES, AMBIGUITIES, OR CONFLICTS IN THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. THE INSTALLATION OF ALL SPECIFIED MATERIAL INCLUDING THE PREPARATION OF SURFACES, SHALL CONFORM TO THE MATERIAL MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
5. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING WHERE REQUIRED.
6. METHODS OF DEMOLITION SHALL BE DEVISED BY THE CONTRACTOR BUT WITHIN THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL ORDINANCES.
7. THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT.
8. THE CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE BRACES AND CONNECTIONS TO SUPPORT THE COMPONENT PARTS OF THE STRUCTURE, UNTIL THE STRUCTURE ITSELF (INCLUDING THE ROOF AND FLOOR DIAPHRAGMS) IS COMPLETE ENOUGH TO ADEQUATELY SUPPORT ITSELF.

CAL GREEN REFERENCES

1. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. A PLAN IS DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
2. 4.106.3 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS KEEP WATER FROM ENTERING BUILDINGS.
3. 5.201.1 SCOPE BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
4. 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF SECTIONS 4.303.1.1 THROUGH 4.303.1.4.4.
5. 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.
6. 4.304.1 IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.
7. 4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY
8. 4.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:
 1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE; OR
 2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2; OR
 3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3; OR
 4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.4.
9. 4.410.1 OPERATION AND MAINTENANCE MANUAL. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
10. 4.503.1 FIREPLACE. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
11. 4.504.1 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. 4.504.2.2 PAINTS AND COATINGS. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. 4.504.2.3 AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. 4.504.2.4 VERIFICATION. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. 4.504.3 CARPET SYSTEMS. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT [8] 0 0 0 WITH VOC LIMITS. 4.504.4 RESILIENT FLOORING SYSTEMS. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM; OR MEET CALIFORNIA DEPT. OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS", VERSION LT, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350). 4.504.5 COMPOSITE WOOD PRODUCTS. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
12. 4.505.2 CONCRETE SLAB FOUNDATIONS. VAPOR RETARDER AND CAPILLAR BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS. 4.503.3 MOISTURE CONTENT OF BUILDING MATERIALS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
13. 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA
 2. MANUAL J-2004 OR EQUIVALENT SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1
 3. MANUAL D-2009 OR EQUIVALENT.
 3. SELECT HEATING AND COOLING EQ
14. 702.1 INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. 702.2 SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING. 703.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

CODE INFORMATION

APPLICABLE CODES:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 SONOMA COUNTY MUNICIPAL AND ZONING CODES

RIVER ELECTRIC

16101 Neeley Rd
Guerneville, CA
95446

Submitted: _____ Date: _____
Design Dev. Set 04/27/21

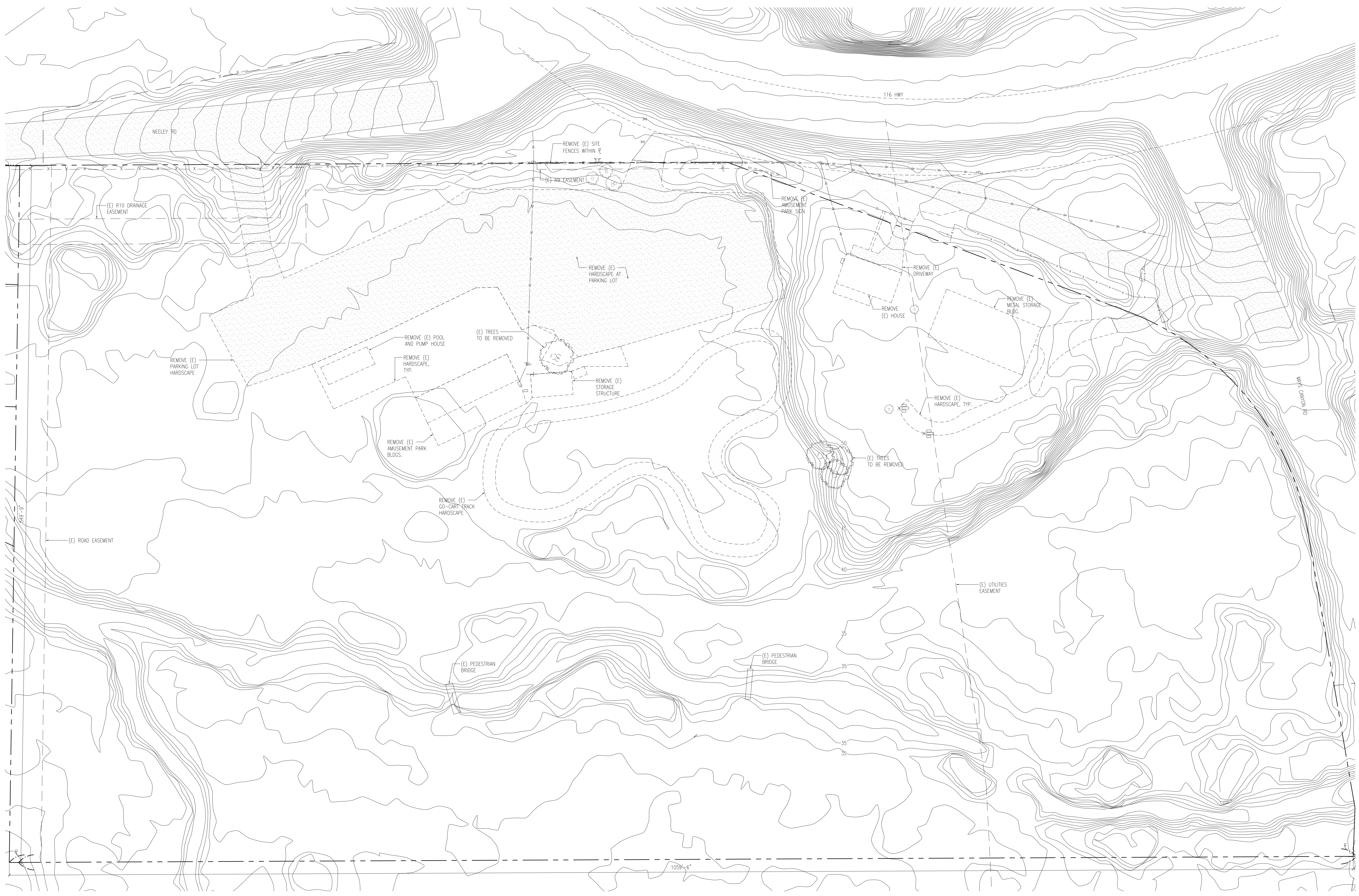
SITE PLAN /
ROOF PLAN

A0



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RIVER ELECTRIC
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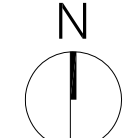
Submittal: _____ Date: _____
Design Dev. Set 04/27/21

**SITE PLAN
EXISTING/DEMO**

A0.1

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1 SITE PLAN - EXISTING/DEMO
1/32" = 1'-0"



1059'-6"

849'-3"

116 HWY

NEELEY RD

(E) R10 DRAINAGE
EASEMENT

(E) ROAD EASEMENT

REMOVE (E) SITE
FENCES WITHIN R

(E) RR EASEMENT

REMOVE (E)
AMUSEMENT
PARK SIGN

REMOVE (E)
(E) HOUSE

REMOVE (E)
DRIVEWAY

REMOVE (E)
METAL STORAGE
BLDG.

REMOVE (E)
HARDSCAPE, TYP.

REMOVE (E)
HARDSCAPE AT
PARKING LOT

REMOVE (E)
STORAGE
STRUCTURE

REMOVE (E) POOL
AND PUMP HOUSE

REMOVE (E)
HARDSCAPE,
TYP.

REMOVE (E)
AMUSEMENT PARK
BLDG.

REMOVE (E)
GO-CART TRACK
HARDSCAPE

(E) TREES
TO BE REMOVED

(E) TREES
TO BE REMOVED

(E) UTILITIES
EASEMENT

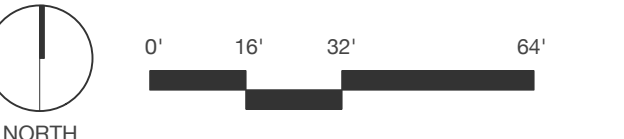
(E) PEDESTRIAN
BRIDGE

(E) PEDESTRIAN
BRIDGE



LEGEND

- ① Parking (88 spaces)
- ② Check In/Camp Store
- ③ Main Entrance
- ④ Snack Bar
- ⑤ Restrooms
- ⑥ Aux Patio
- ⑦ Great lawn
- ⑧ Satellite pool (16'x32'), typ.
- ⑨ Central pool (44'-6" Ø)
- ⑩ Pool deck
- ⑪ Snack Bar Patio
- ⑫ Restroom Patio
- ⑬ Gravel courtyard
- ⑭ Gravel dropoff/parking
- ⑮ Meadow
- ⑯ Camp ground - 39 standard sites
- ⑰ ADA camp site
- ⑱ Camp Meadow
- ⑲ Trash Enclosure
- ⑳ Pool Equipment





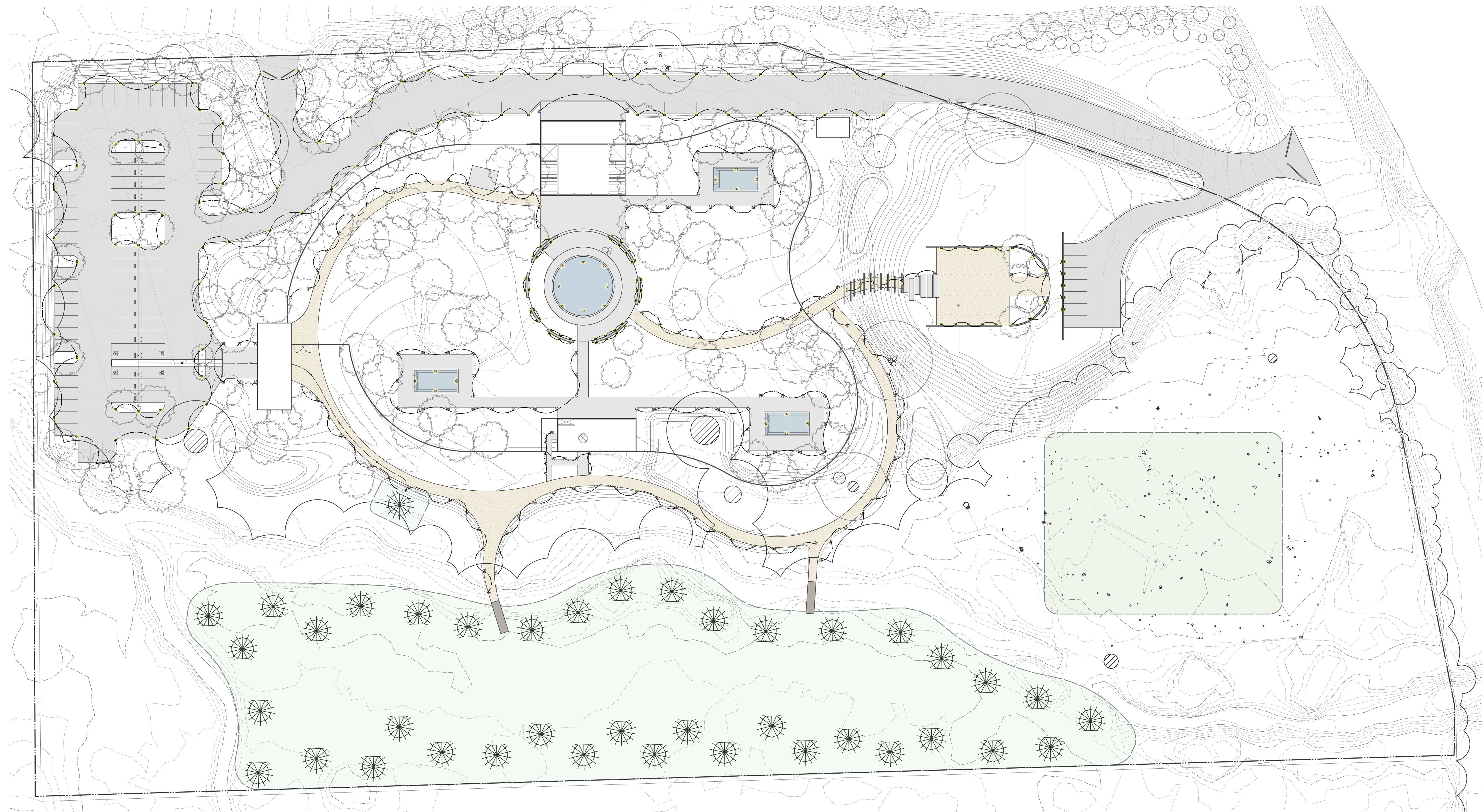
BIORETENTION CELL PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size
RAINGARDEN GRASSES/SHRUBS				
4,061 sq. ft.				
	10%	<i>Achillea millefolium</i>	Common Yarrow	1 gal
	10%	<i>Carex densa</i>	Dense Sedge	1 gal
	10%	<i>Carex pansa</i>	California Meadow Sedge	1 gal
	10%	<i>Carex testacea</i>	New Zealand Orange Sedge	1 gal
	10%	<i>Juncus patens</i>	Blue Rush	1 gal
	10%	<i>Juncus ensifolius</i>	Dagger Leaf Rush	1 gal
	10%	<i>Muhlenbergia rigens</i>	Deergrass	1 gal
	10%	<i>Typha latifolia</i>	Cattail	1 gal
	10%	<i>Polystichum californicum</i>	California Sword Fern	1 gal
	10%	<i>Polystichum munitum</i>	Western Sword Fern	1 gal

PLANT LEGEND

Symbol	Quantity	Botanical Name	Common Name	Container Size	Notes
SCREENING TREES/SHRUBS					
	85	<i>Quercus suber</i>	Cork Oak	(59) 15 gal (26) 24" box	drip irrigation
	18	<i>Sequoia sempervirens</i>	Coast Redwood	(18) 24" box	
	128	<i>Heteromeles arbutifolia</i>	Toyon	(99) 5 gal (29) 15 gal	
	128	<i>Rhamnus californica</i>	Coffeeberry	(99) 5 gal (29) 15 gal	
POOL AREA TREES					
	21	<i>Pistacia chinensis</i>	Chinese Pistache	36" box	
	32	<i>Ulmus parviflora</i>	Chinese Elm	(12) 24" box (10) 36" box (10) 48" box	
BERRY BARRIER					
	592	<i>Rubus fruticosus</i>	Blackberry	5 gal	drip irrigation
	592	<i>Rubus idaeus</i>	Everbearing Raspberry	5 gal	
	592	<i>Rubus 'Marion'</i>	Marionberry	5 gal	
PLANTING ZONE 1 - POOL TURF SOD					
	56,825 sq. ft.	Delta 90/10 Tall Fescue/Bluegrass	Delta 90/10 Tall Fescue/Bluegrass		overhead irrigation
PLANTING ZONE 2 - FLEXIBLE MEADOW HYDROSEED					
	47,826 sq. ft.	Delta Mow Free	Delta Mow Free		overhead irrigation
PLANTING ZONE 3 - MEADOW RESTORATION HYDROSEED					
	99,991 sq. ft.	Species TBD	Species TBD		temporary overhead irrigation

*All tree and shrub planting areas to be top-dressed with Clean Green organic compost and soil is to be amended as required.



LIGHTING LEGEND & SPECIFICATIONS

Symbol	Quantity	Description	Brand/Model	Wattage
	338	Path Light	Auroralight / Martillo	3W
	20	Pool Light	SAVI / Melody Blanco	10W
	21	Wall Light	Lucifer Lighting Company / Double Impact	6W
	5	Recessed Step Light	WAC / 4011-30SS	3.4W
	89	Bollard Light	Lucifer Lighting Company / Double Impact (Mounted on Wooden Post)	6W

EXTERIOR LIGHTING NOTES:

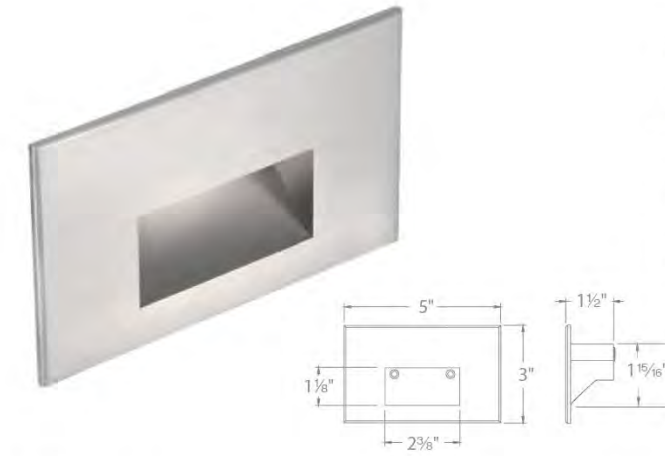
- All landscape lighting to comply with Sonoma County design requirements
- Switching and controls for all exterior fixtures shall be coordinated with smart home system. Exact switching and control locations to be verified by client and landscape architect/lighting designer.
- Light source shall not be visible from off-site premises
- The lighting plan is diagrammatic and intended to show general fixture location and type. Exact location of fixtures and transformers shall be verified on site with landscape architect.
- Contractor shall coordinate with General Contractor and Electrical Contractor for installation of conduit, sleeving, switching locations and junction boxes during other phases of work.
- All fixtures to be installed per manufacturer's specifications
- All "flush" fixtures to be installed level with top of paving material, gravel or plant bed mulch, unless otherwise noted
- Lighting shown on the driveway shall consist of the minimum number of low voltage fixtures to light the driveway surface only for safety purposes

L4

L4 / RECESSED STEP LIGHT



RECTANGLE STEP LIGHTS 12V
4011



PRODUCT DESCRIPTION

Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters. Features an architectural design, Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated, Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

SPECIFICATIONS

Input: 9-15VAC (Transformer is required)
Power: 2W / 3.1VA
CR: 90
Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H Includes bracket for J-Box mount.
Rated Life: 60,000 hours

ORDERING NUMBER

Color Temp	CR	Finish	Lumens
27	2700K	90	BBR Bronze on Brass 17
			BK Black on Aluminum 17
			BZ Bronze on Aluminum 17
			WT White on Aluminum 38
			BBR Bronze on Brass 17
			BK Black on Aluminum 17
30	3000K	90	BZ Bronze on Aluminum 17
			WT White on Aluminum 38
			SS Cast Stainless Steel 23
			BBR Bronze on Brass 17
			BK Black on Aluminum 17
			BZ Bronze on Aluminum 17
AM	Amber	-	WT White on Aluminum 23
			SS Cast Stainless Steel 14
			BBR Bronze on Brass 17
			BK Black on Aluminum 17
			BZ Bronze on Aluminum 17
			WT White on Aluminum 23

4011-

Example: 4011-30BK

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585
 Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050
 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122
 Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2016

L2

L2 / POOL LIGHT



CALL US: 407.855.9630

SAVI POOL AND SPA

HOME PRODUCTS GALLERY COMPANY SUPPORT VIDEOS CONTACT

WHITE LIGHT / Melody Blanco

Melody Blanco

At just 10 Watts of power, the Melody Blanco delivers a bright daylight White Light, the optimal illumination for swimming pool and spa. Great for shallow water applications like steps, swim outs, sun shelves and beach entries. The Blanco is also dimmable so you can adjust the brightness to suit your mood. Interchangeable LED Cartridge with the color RGB Melody light. Upgrade to save Blanco Pro for 2x the light.

Specifications: 10 Watts 12V

SAVI UNDERWATER LIGHT FEATURES

- 4" Minimum Water Depth
- Fits Standard 1 1/2" Wall Fittings
- No Niche, No Grounding, No Bonding
- 180° Beam for Complete Coverage
- No Remote Diving User Changes
- Flush Mounts / Can Run Dry
- No Water Required for Cooling
- Acrylic Designer Series Lenses
- Field Interchangeable, Upgradeable & Replaceable Cartridges

SAVI UNDERWATER LIGHT FEATURES

- 4" Minimum Water Depth
- Fits Standard 1 1/2" Wall Fittings
- No Niche, No Grounding, No Bonding
- 180° Beam for Complete Coverage
- No Remote Diving User Changes
- Flush Mounts / Can Run Dry
- No Water Required for Cooling
- Acrylic Designer Series Lenses
- Field Interchangeable, Upgradeable & Replaceable Cartridges

PART NUMBER	DESCRIPTION	SUPPORT
MB-30	10W 12V Pool Light, Blanco with 30' Cord	INSTALL MANUAL
MB-50	10W 12V Pool Light, Blanco with 50' Cord	MELODY BLANCO BROCHURE
MB-100	10W 12V Pool Light, Blanco with 100' Cord	SAVI BROCHURE
MB-150	10W 12V Pool Light, Blanco with 150' Cord	WHERE TO BUY
BLANCO-CARTRIDGE-KIT	10W 12V LED Blanco Light Cartridge For Use With Serviceable Blanco Product Line	SAVI products are sold direct to the trade only. Nonmembers should contact their pool builder, pool service provider, their local pool supply store or on-line retailers for SAVI products. Distributors and contractors please contact the factory for sales representative contact or distributor information.
SAVI-SHELL-100	Complete Melody Blanco Unit - Less LED Light Cartridge - 100' Cord	

Related Products

L3

L3 / WALL LIGHT



DOUBLE IMPACT
ISL2-LED

RECESSED LED LUMINAIRE
PATH & STEPLIGHT

In-wall 4.5-watt DC LED path or step light. Extra-wide low-glare aperture projects light 4' or 6' width delivering minimum 1 ft. up to 20 ft. Perfect for illuminating broader pathways with fewer fixtures for residential, commercial, hospitality and healthcare applications. Durable precision milled 316 stainless steel or brass casting, 90+ CRI, delivering 150 lumens. Available in 2700K, 3000K, 3500K and 4000K color temperatures. Dry / Damp and Wet location.

PERFORMANCE

LED Configuration	Delivered Lumens (lm)	Power Consumption (W)	Lumens (lm) per W
BL-608	150	4.5	33

ORDERING INFORMATION - FIXTURE

ISL2	FINISH	POWER OUTPUT	INSTALL FINISH	PLATE FINISH	CR / LED	SOURCE LUMENS	CR
DOUBLE IMPACT STEPLIGHT	1 Dry (Damp Non-Locking) 2 Wall Locking	WB White BR Brass AB Satin Brass MB Architectural Brass CB Custom Finish* (Optional)	IS Industrial Gray OS Brushed/Polished Steel PS Polished/Brushed Steel	CR Chrome* BR Brushed/Polished Steel	BL 90+ CR 90	1 270K 2 300K 3 350K 4 4000K C Custom Color Light* (See Spec. 4.1)	1 270K 2 300K 3 350K 4 4000K C Custom Color Light* (See Spec. 4.1)

*Power can only be plate finished, custom finishes are plated unless noted on order. Consult factory for additional details. *Light is non-recessed. *Dry/Damp location only.

*Custom plate finish requires additional time. *Custom plate finish requires additional time. Contact Product Support for details.

MOUNTING OPTIONS FOR REMOTE POWER SUPPLY - SELECT ONLY ONE (SEE PAGE 3 AND 4 FOR MOUNTING PROVISION DETAILS)

- WET OR DRY / DAMP LOCATION**
- SSL-2-MP Mounting Plate
 - SSL-2-MP-11.50 / 1.75 / 2.00 / 2.50 / 3.00 Mounting Plate, specify collar depth
 - SSL-2-SMB-11.50 Mounting Plate, specify collar depth
 - SSL-2-SMB-11.50 Surface Mount Box, specify finish, powder coat only
- WET, DRY / DAMP OR CONCRETE POUR LOCATION**
- SSL-2-BB Back Box with SSL-2-LMP mounting plate
 - SSL-2-BB-11.50 / 1.75 / 2.00 / 2.50 / 3.00 Back Box with SSL-2-LMP mounting plate, specify collar depth
 - UBB-SL2-FL-LVF-11.50 / HGR Remote Universal Back Box, specify hanger bars or brackets
- DRY / DAMP LOCATION ONLY**
- SSL-2-RM Remoted-Mount collar (drywall / plasterboard)
 - SSL-2-CC Cavity Collar

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L1

L1 / PATH LIGHT



auroraLight

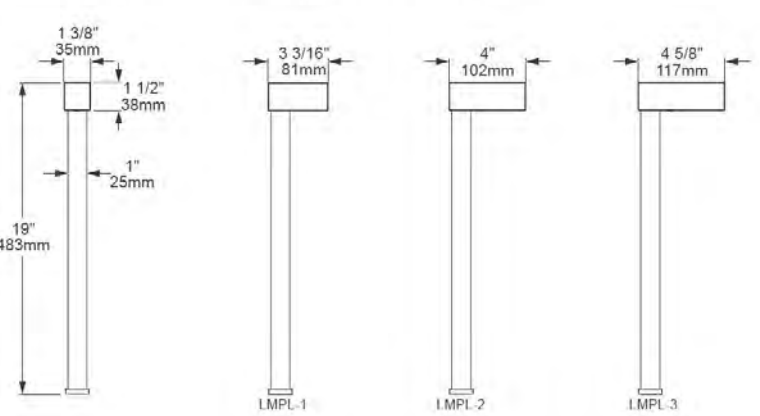
Architectural SERIES

TYPE: _____
CAT # LMPL

LMPL MARTILLO

The Martillo Path Light is a stylistic and contemporary LED luminaire featuring a sleek, precisely sculpted brass body and stem. Assembled with stainless hardware and durable joinery, the Martillo is nearly indestructible. A Cree powered Copper Core® light engine, together with the precision-machined acrylic optics, beautifully illuminate pathways, and open spaces. Influenced by contemporary architecture, the Martillo is the perfect complement to modern, old, or new.

- Features include:**
- Field Serviceable LED Module in 3, 4 or 6 Watts up to 250 Lumens Delivered
 - 2700K or 3000K (CRI 80 typ.)
 - Thermally Integrated® w/ Copper Core Technology®
 - 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
 - Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
 - Compatible w/ 12V AC/DC MLV or ELV Transformers
 - Solid Brass Construction
 - Ships Complete with 2GS Stake Assembly



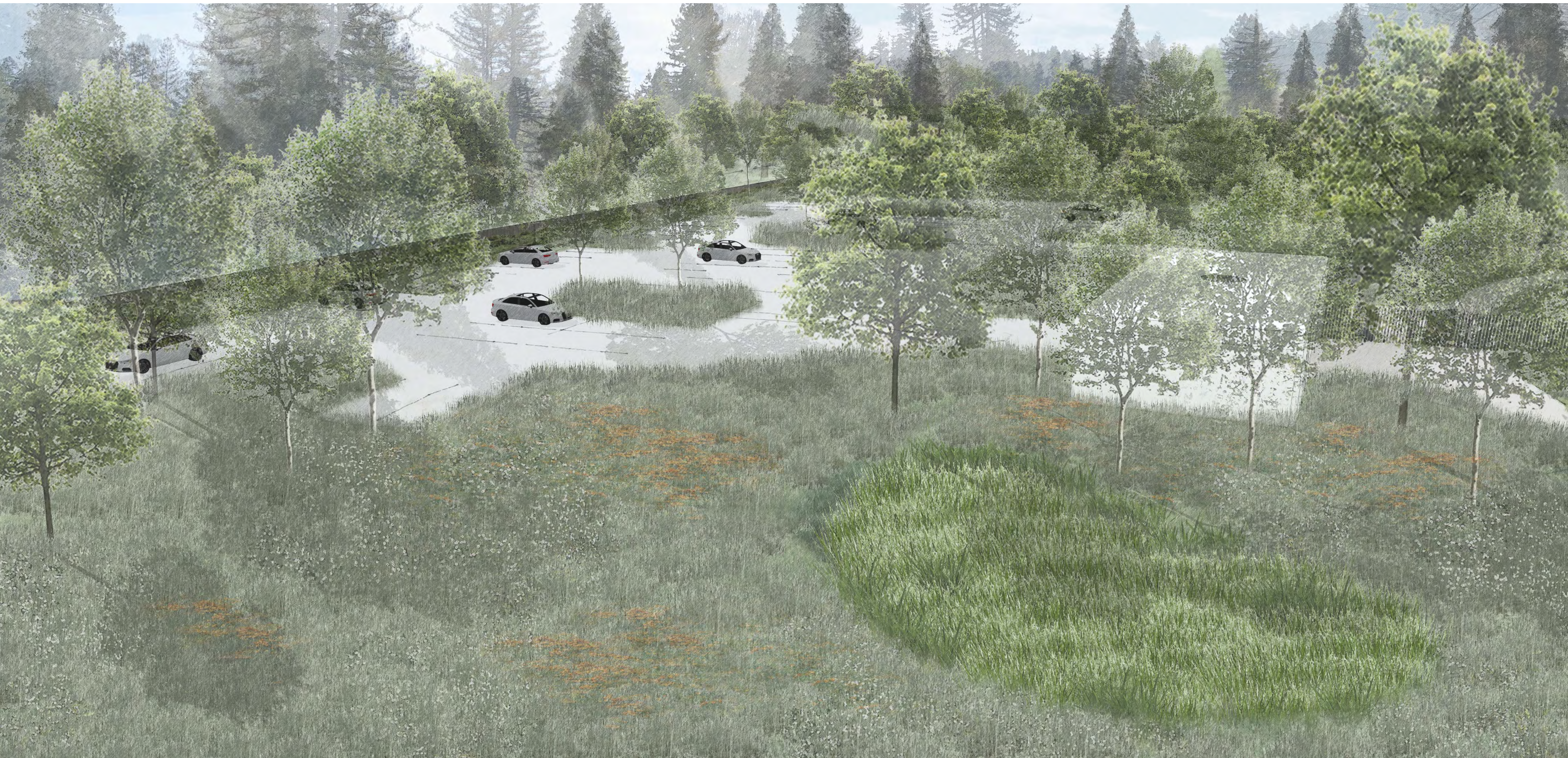
COPPER CORE TECHNOLOGY

Pushing the envelope in LED technology can sometimes come at a cost, and that is heat. It's no secret that LED light sources can still generate quite a bit of heat. To address this, our engineering team has developed ways to draw heat away from the circuitry. One such solution is our Copper Core Technology. Using solid copper circuit boards, we are able to draw heat away from the light source and dissipate it throughout the entire fixture.

12V

SEE NEXT PAGE FOR ORDERING INFORMATION

CARLSBAD, CA | PHONE 877 842 1179 | FAX 760 931 2916 | E-MAIL SALES@AURORALIGHT.COM | AURORALIGHT.COM
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7' HT OPAQUE WOOD SCREEN FENCE -
VERTICAL BOARD-ON-BOARD,
NATURAL FINISH



1 ELEVATION: PRIVACY FENCING, TYP.





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RIVER ELECTRIC

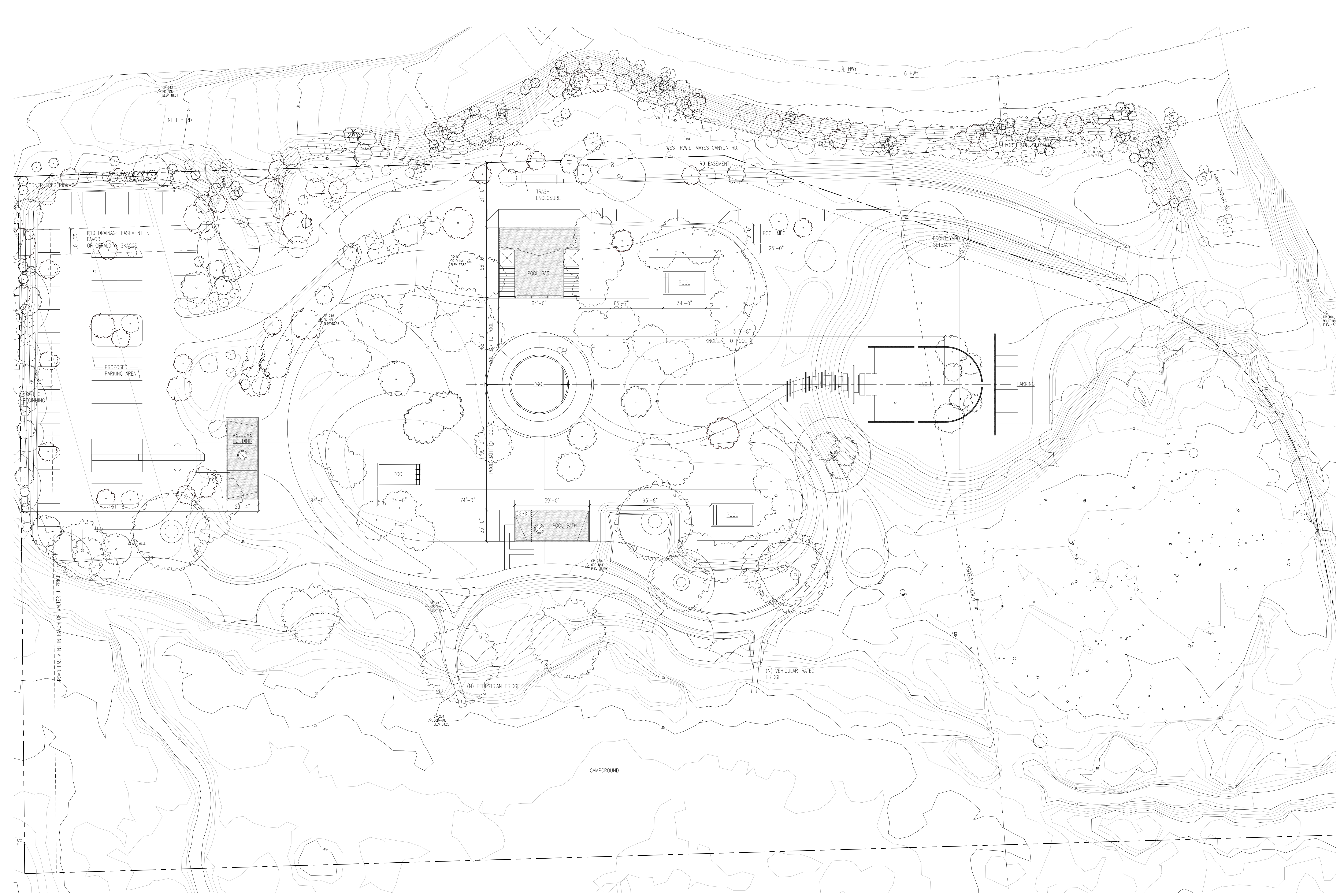
16101 Neeley Rd
Guerneville, CA
95446

Submittal: _____ Date: _____
Design Dev. Set 04/27/21

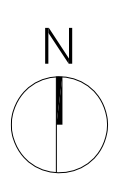
SITE PLAN /
ROOF PLAN

A0.2

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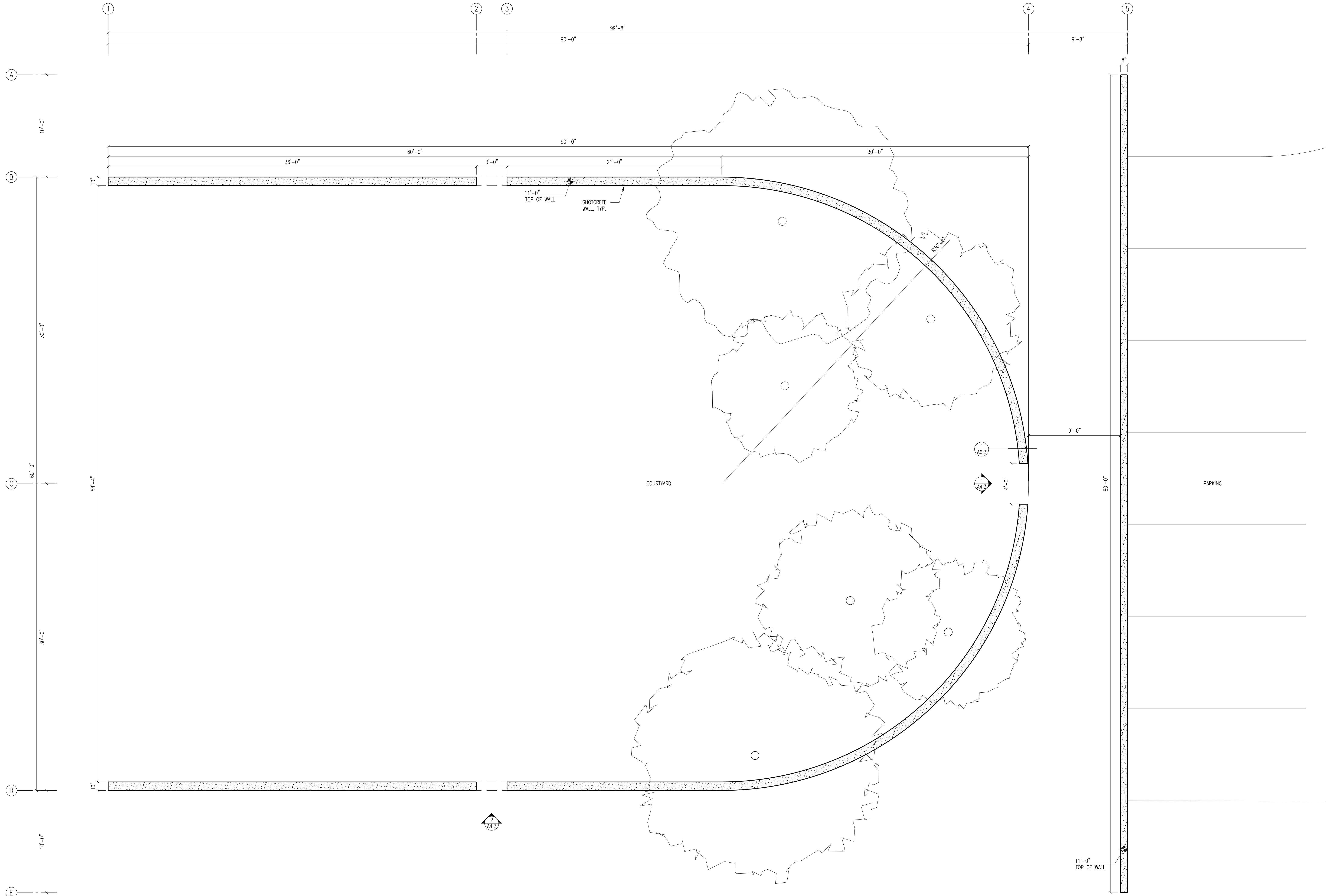
1 SITE PLAN - PROPOSED
1/8" = 1'-0"





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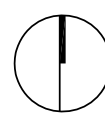
Submittal: _____ Date: _____
Design Dev. Set 04/27/21

KNOLL
FLOOR PLAN
PROPOSED

A2.1

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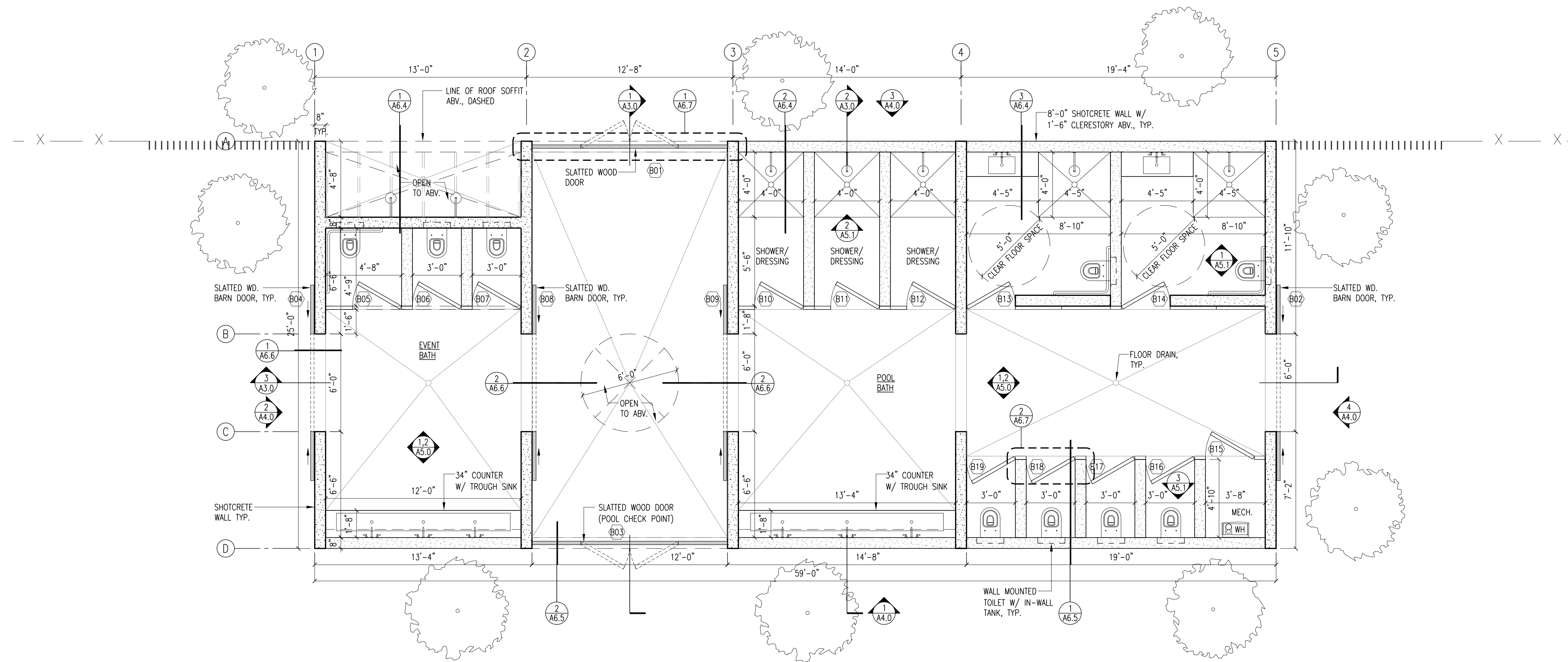
1 KNOLL - PROPOSED PLAN
1/4" = 1'-0"





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1 POOL BATH - PROPOSED PLAN
1/4" = 1'-0"



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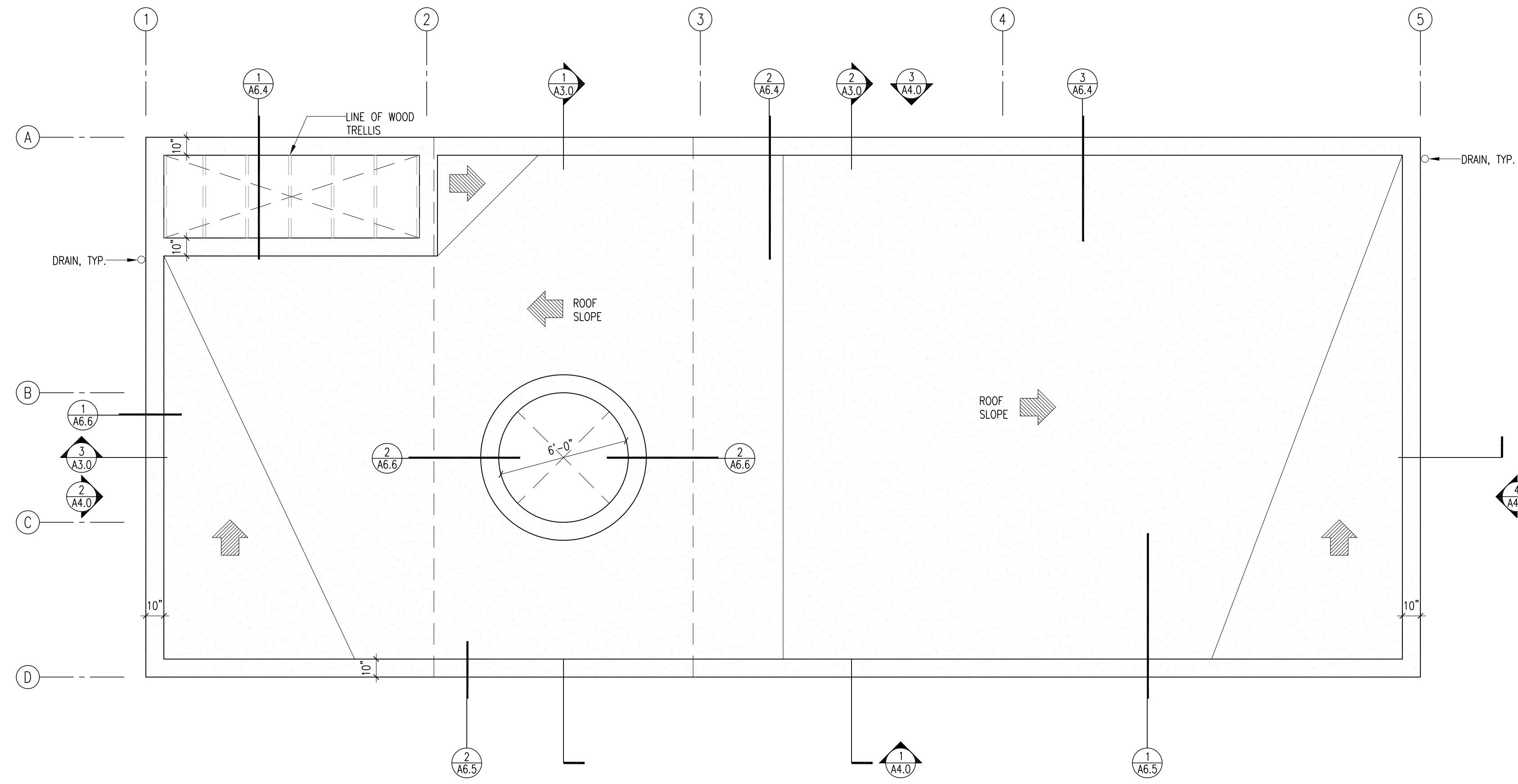
POOL BATH
FLOOR PLANS
PROPOSED

A2.3



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1 POOL BATH - PROPOSED ROOF PLAN
1/4" = 1'-0"



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Design Dev. Set 04/27/21

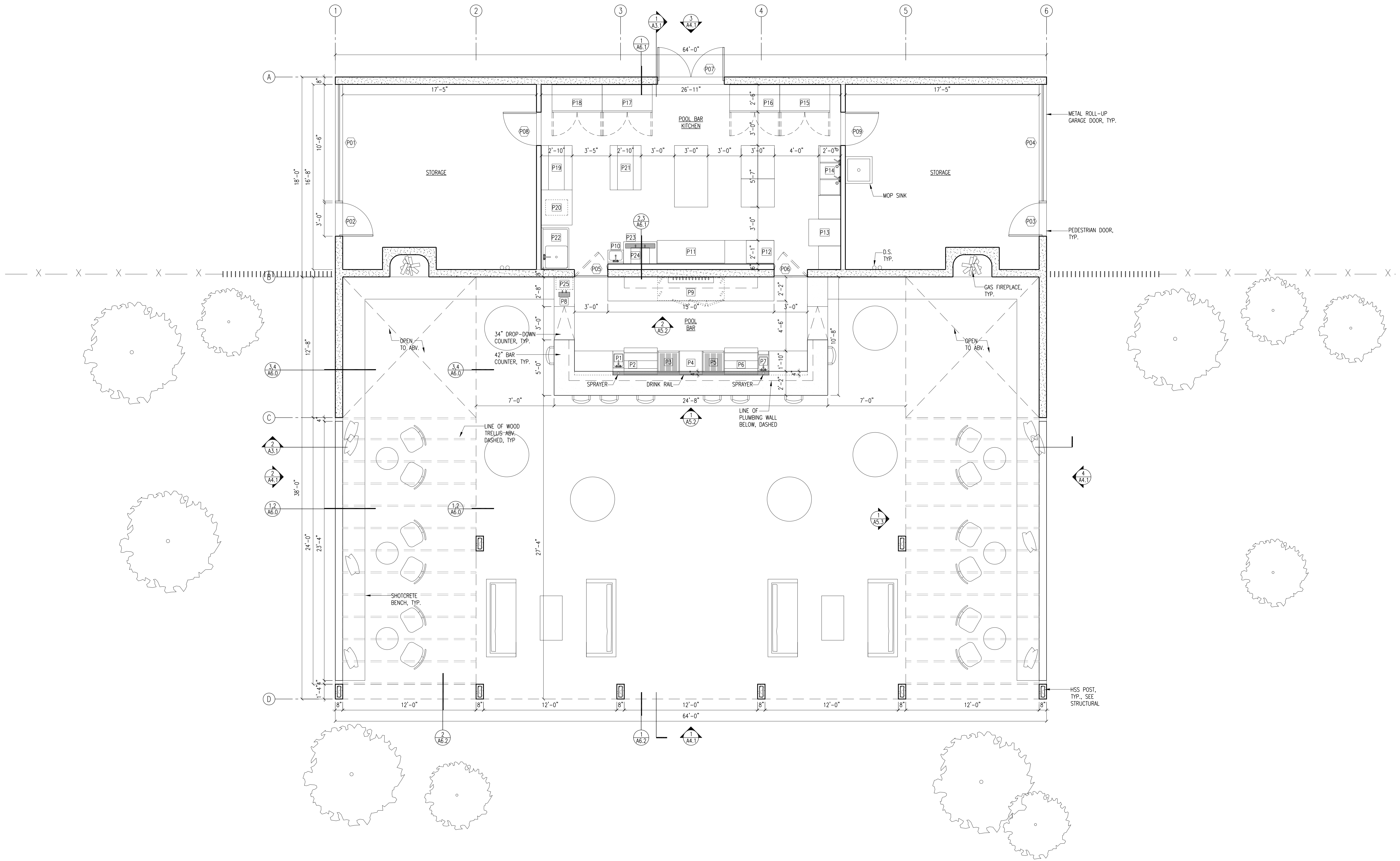
POOL BATH
ROOF PLAN
PROPOSED

A2.5



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1 POOL BAR - PROPOSED PLAN
3/4" = 1'-0"



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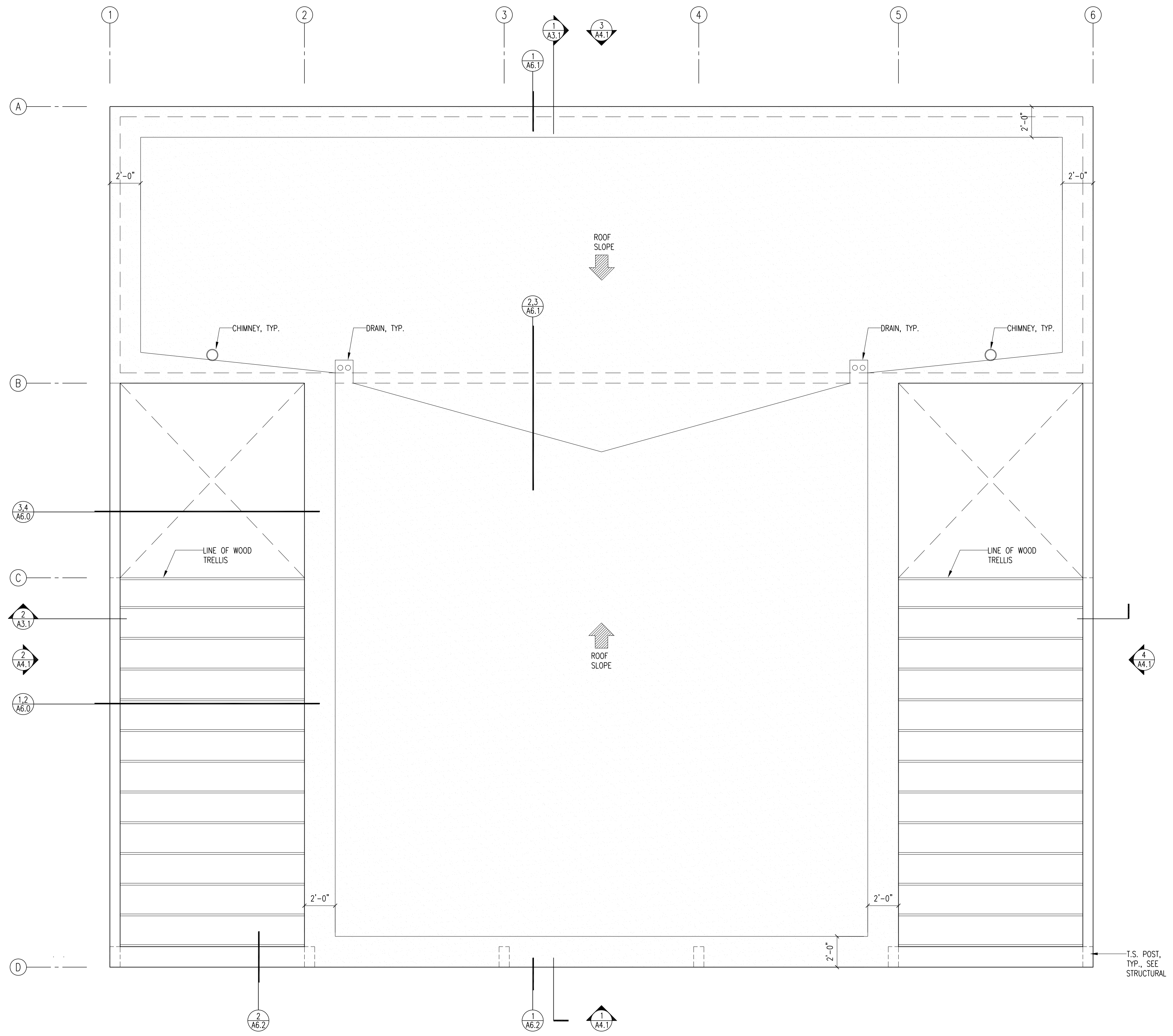
POOL BAR
FLOOR PLANS
PROPOSED

A2.7



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1 POOL BAR - PROPOSED ROOF PLAN
1/4" = 1'-0"



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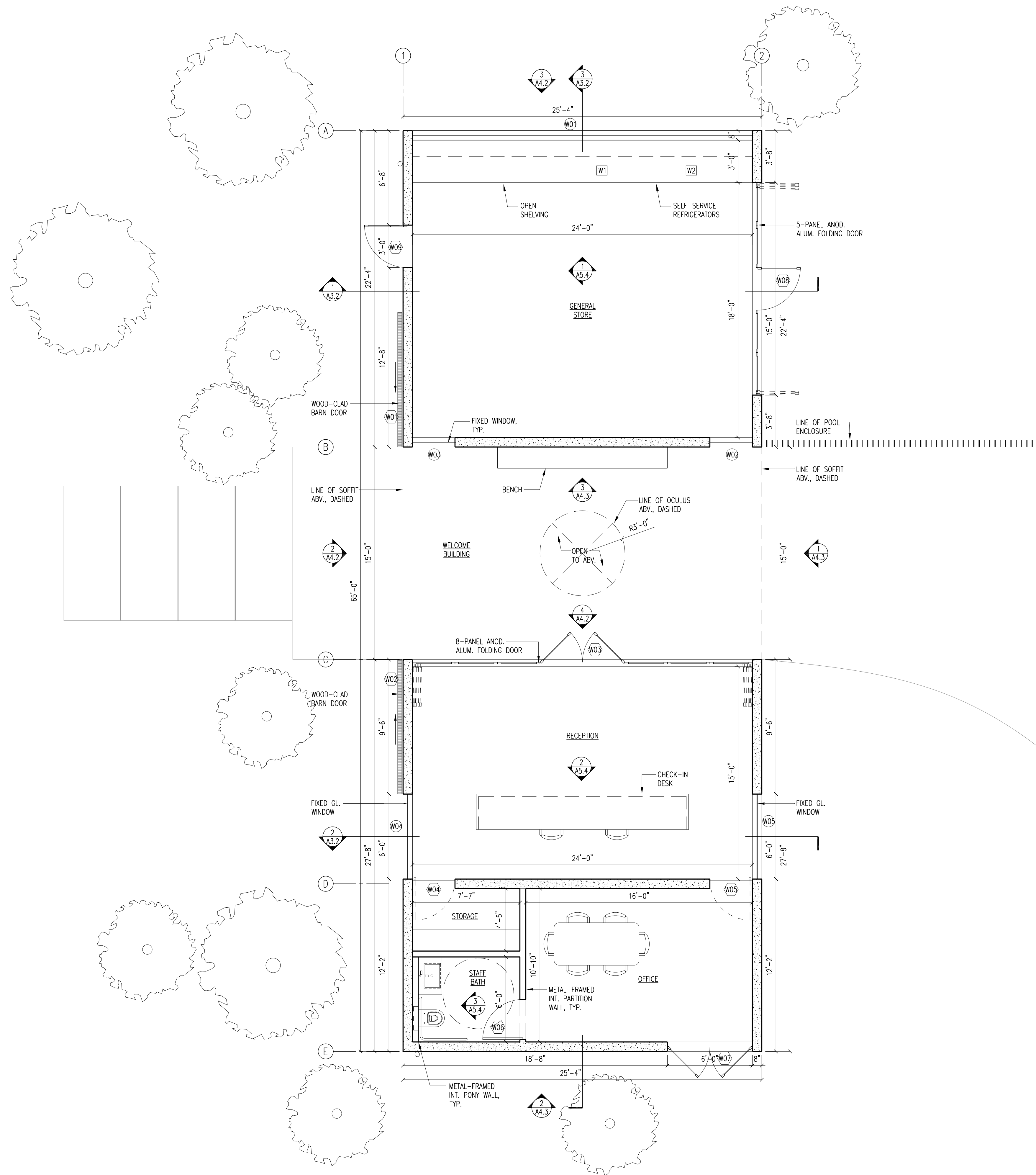
POOL BAR
ROOF PLAN
PROPOSED

A2.10



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1 WELCOME BUILDING - PROPOSED PLAN
1/4" = 1'-0"



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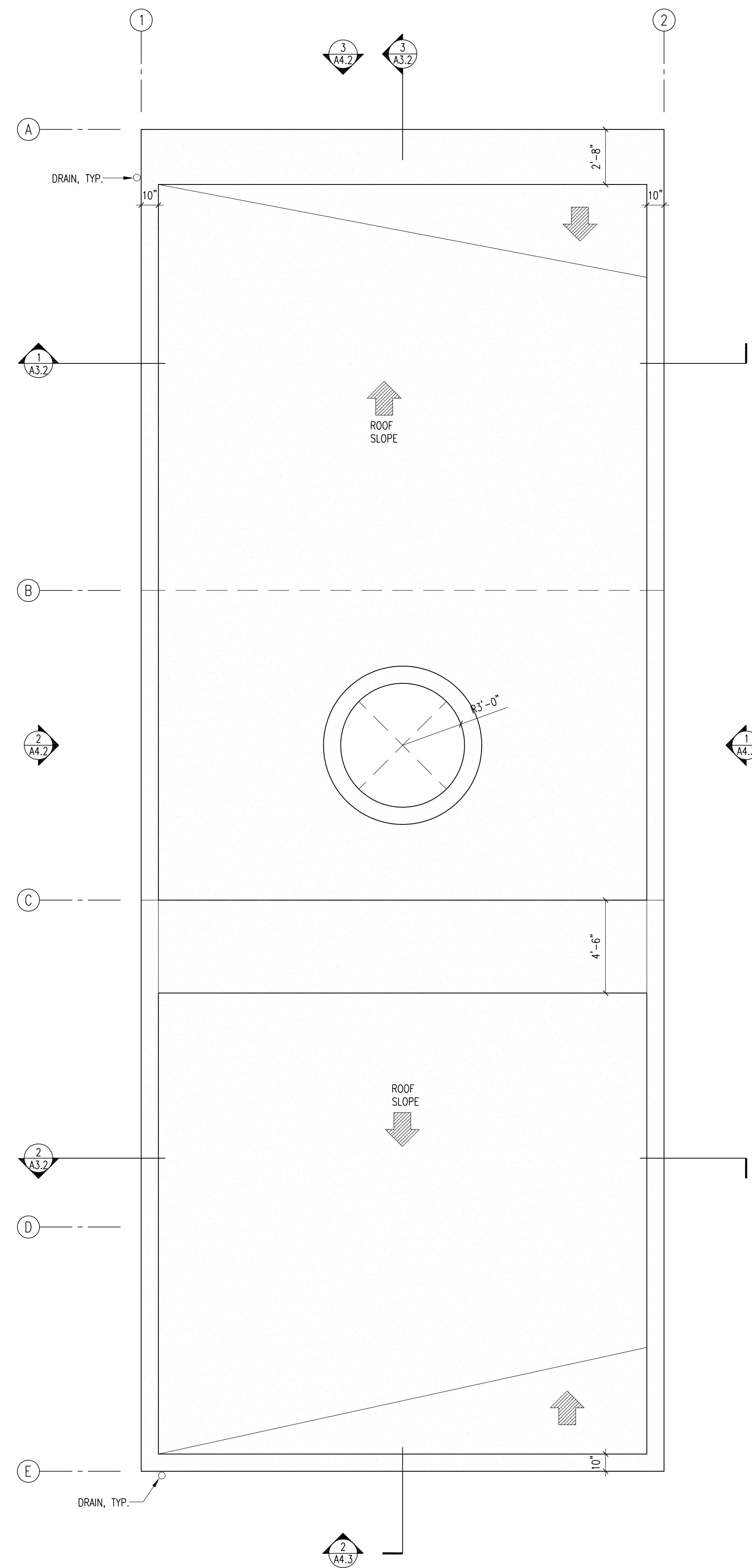
WELCOME
BUILDING
FLOOR PLAN
PROPOSED

A2.12



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1 WELCOME BUILDING - PROPOSED ROOF PLAN
1/4" = 1'-0"



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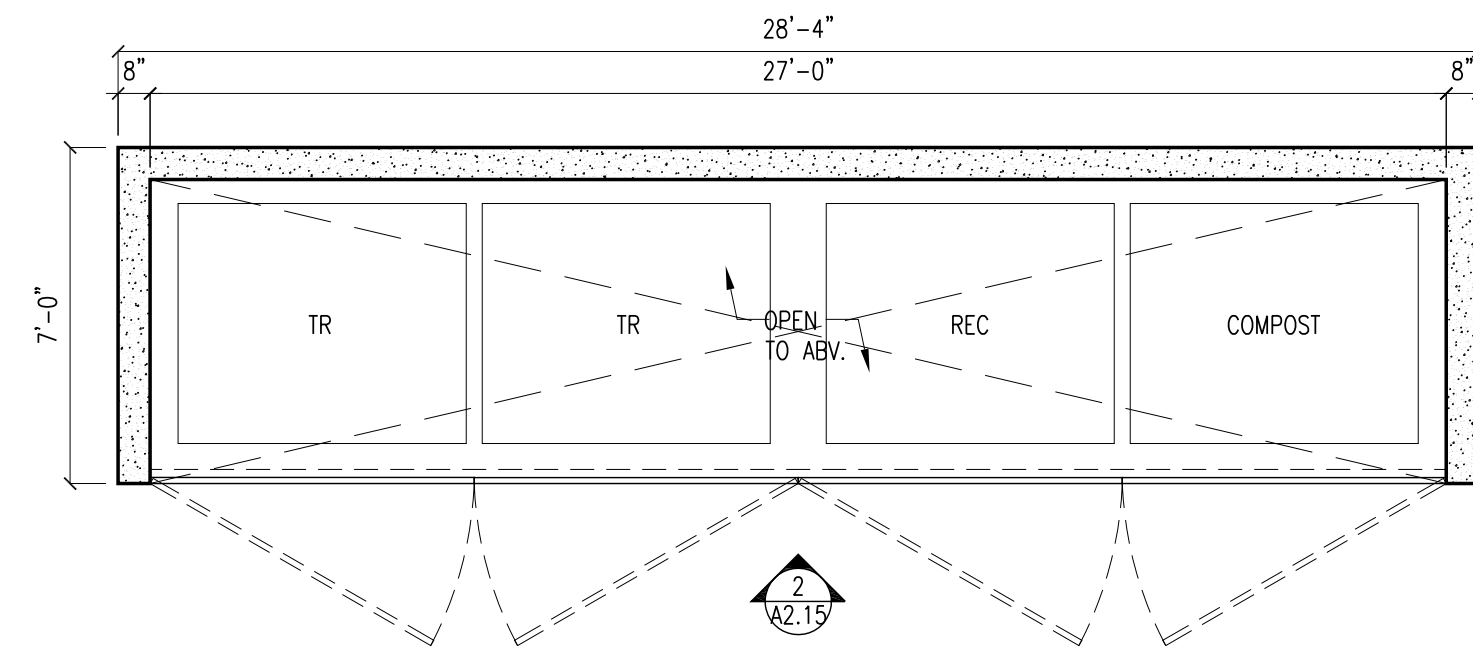
WELCOME
BUILDING
ROOF PLAN
PROPOSED

A2.14

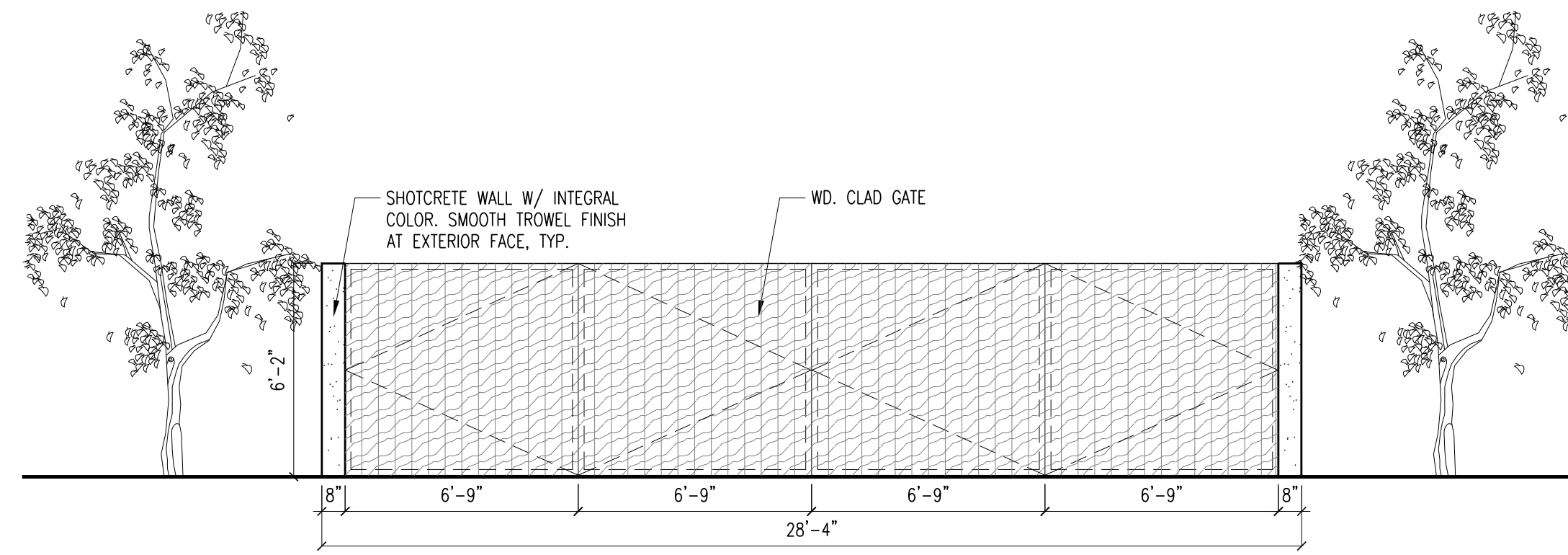


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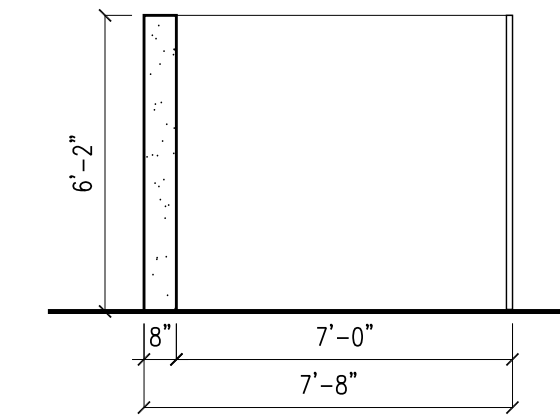
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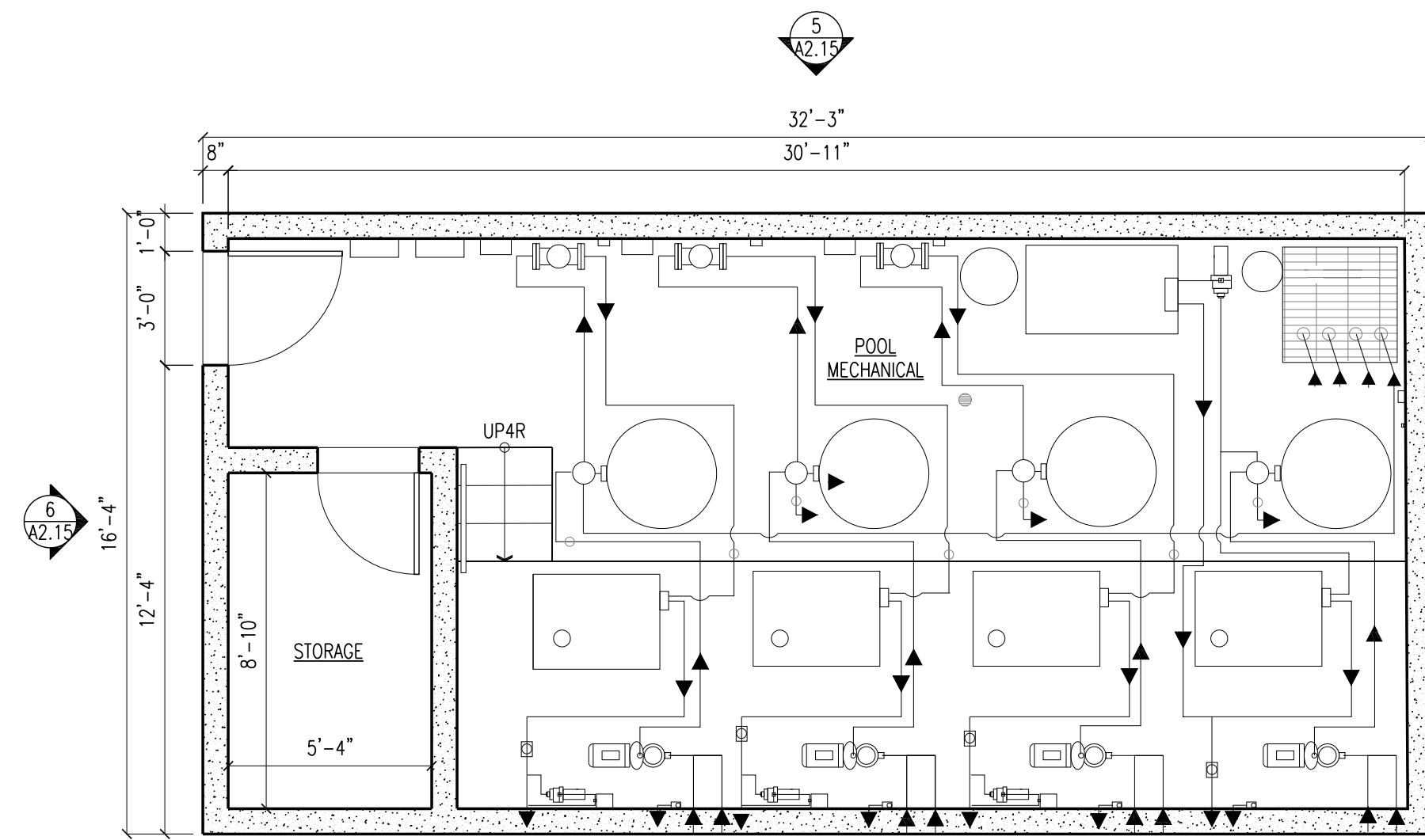
1 TRASH ENCLOSURE - PROPOSED PLAN
1/4" = 1'-0"



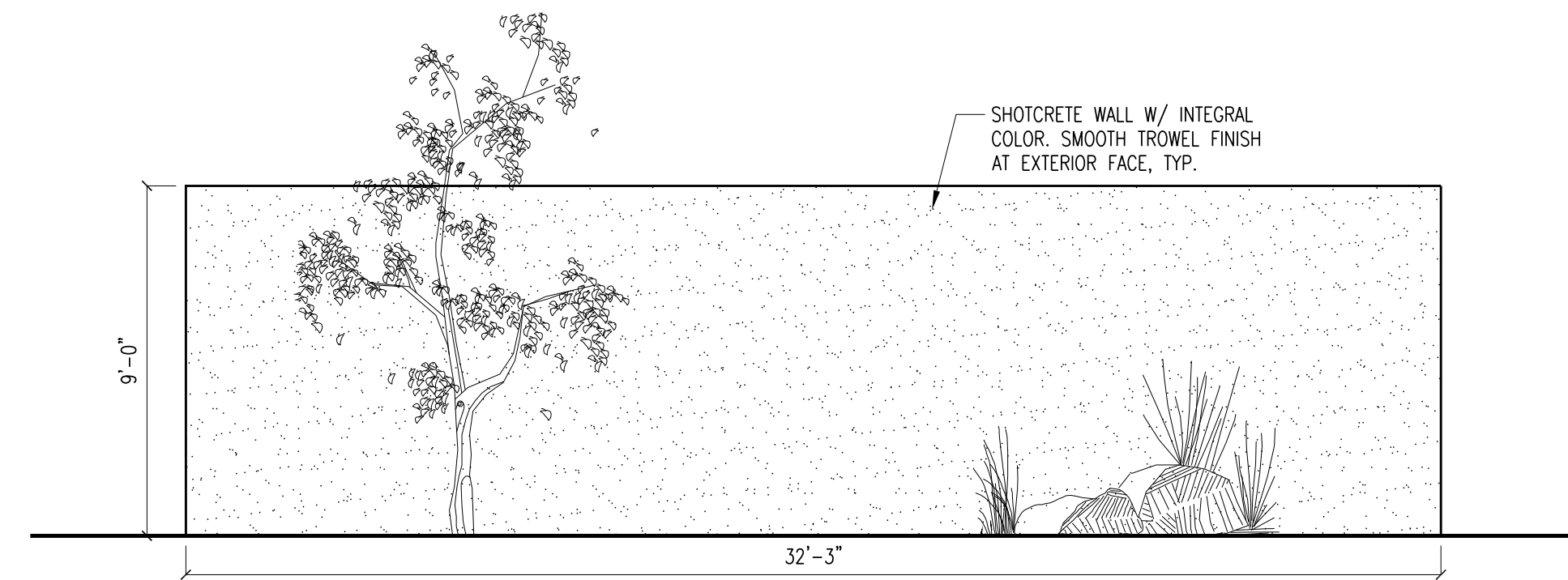
2 TRASH ENCLOSURE - ELEVATION
1/4" = 1'-0"



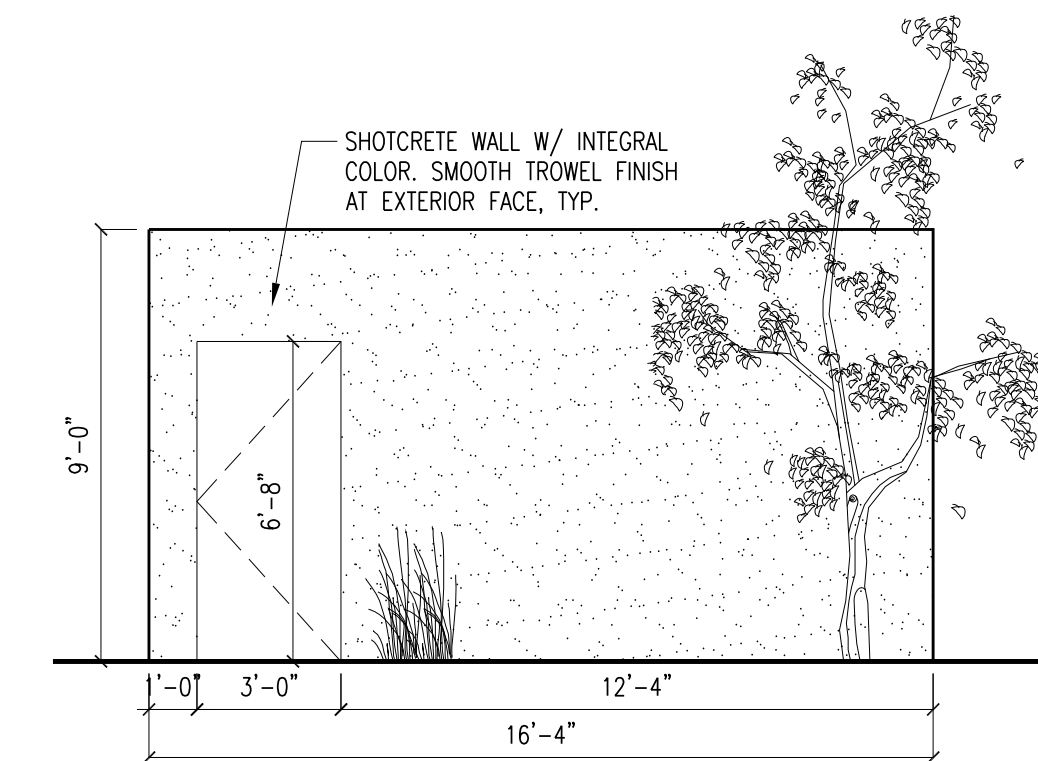
3 TRASH ENCLOSURE - SECTION
1/4" = 1'-0"



4 POOL MECH. BUILDING - PROPOSED PLAN
1/4" = 1'-0"



5 POOL MECH. BUILDING - ELEVATION
1/4" = 1'-0"



6 POOL MECH. BUILDING - ELEVATION
1/4" = 1'-0"



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ACCESSORY
BLDGs PLANS/
ELEVATIONS

A2.15



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DOOR SCHEDULE (NOTE: CONFIRM ALL SIZES PRIOR TO ORDERING DOORS)					
#	ROOM	SIZE (DOOR WIDTH X HEIGHT)	TYPE	HARDWARE GROUP	NOTES
B01	POOL BATH	12'-0" x 8'-0"	WD. SCREEN DR.	A - HINGED	SLATTED WD. DR.
B02	POOL BATH	6'-0" x 9'-0"	WD. SCREEN DR.	C - SLIDING	SLATTED WD. BARN DR.
B03	POOL BATH	12'-0" x 8'-0"	WD. SCREEN DR.	A - HINGED	SLATTED WD. DR.
B04	EVENT BATH	6'-0" x 9'-0"	WD. SCREEN DR.	C - SLIDING	SLATTED WD. BARN DR.
B05	ADU TOILET STALL	3'-0" x 8'-0"	WD. SCREEN DR.	C - SLIDING	SLATTED WD. BARN DR.
B06	TOILET STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B07	TOILET STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B08	EVENT BATH	6'-0" x 9'-0"	WD. SCREEN DR.	C - SLIDING	SLATTED WD. BARN DR.
B09	POOL BATH	6'-0" x 9'-0"	WD. SCREEN DR.	C - SLIDING	SLATTED WD. BARN DR.
B10	SHOWER/DRESSING	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B11	SHOWER/DRESSING	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B12	SHOWER/DRESSING	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B13	ADU BATH STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B14	ADU BATH STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B15	MECH.	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B16	TOILET STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B17	TOILET STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B18	TOILET STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
B19	TOILET STALL	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD

NOTE: IN ACCORDANCE WITH SECTION R308.4, GLAZING IN ALL NEW GLASS DOORS MUST BE TEMPERED SAFETY GLASS.
IN ACCORDANCE WITH SECTION R308.4.3 GLAZING IN ALL NEW WINDOWS MUST BE TEMPERED SAFETY GLASS.

1 POOL BATH DOOR SCHEDULE

DOOR SCHEDULE (NOTE: CONFIRM ALL SIZES PRIOR TO ORDERING DOORS)					
#	ROOM	SIZE (DOOR WIDTH X HEIGHT)	TYPE	HARDWARE GROUP	NOTES
P01	STORAGE/GARAGE	10'-6" x 8'-0"	METAL	-	ROLL-UP GARAGE DOOR
P02	STORAGE/GARAGE	3'-0" x 8'-0"	METAL	A - HINGED	-
P03	STORAGE/GARAGE	3'-0" x 8'-0"	METAL	A - HINGED	-
P04	STORAGE/GARAGE	10'-6" x 8'-0"	METAL	-	ROLL-UP GARAGE DOOR
P05	POOL BAR	3'-0" x 10'-0"	METAL	A - HINGED	WOOD CLAD
P06	POOL BAR	3'-0" x 10'-0"	METAL	A - HINGED	WOOD CLAD
P07	POOL BAR	6'-0" x 8'-0"	METAL	A - HINGED	2-PANEL
P08	POOL BAR	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD
P09	POOL BAR	3'-0" x 8'-0"	METAL	A - HINGED	WOOD CLAD

NOTE: IN ACCORDANCE WITH SECTION R308.4, GLAZING IN ALL NEW GLASS DOORS MUST BE TEMPERED SAFETY GLASS.
IN ACCORDANCE WITH SECTION R308.4.3 GLAZING IN ALL NEW WINDOWS MUST BE TEMPERED SAFETY GLASS.

2 POOL BAR DOOR SCHEDULE

DOOR SCHEDULE (NOTE: CONFIRM ALL SIZES PRIOR TO ORDERING DOORS)					
#	ROOM	SIZE (DOOR WIDTH X HEIGHT)	TYPE	HARDWARE GROUP	NOTES
W01	ENTRY GATE	9'-6" x 9'-0"	WD. SCREEN DR.	D - EXT. SLIDING	SLATTED WD. BARN DR. W/ STEEL FRAME
W02	ENTRY GATE	9'-6" x 9'-0"	WD. SCREEN DR.	D - EXT. SLIDING	SLATTED WD. BARN DR. W/ STEEL FRAME
W03	RECEPTION	24'-0" x 9'-0"	ANOD. ALUM.	E - FOLDING	8-PANEL SINGLE LITE, FOLDING DOOR SYSTEM
W04	RECEPTION	3'-0" x 9'-0"	METAL	B - PIVOT	WOOD-CLAD HOLLOW CORE METAL DOOR
W05	RECEPTION	3'-0" x 9'-0"	METAL	B - PIVOT	WOOD-CLAD HOLLOW CORE METAL DOOR
W06	STAFF BATH	2'-8" x 9'-0"	METAL	A - HINGED	HOLLOW CORE METAL DOOR
W07	OFFICE	6'-0" x 9'-0"	ANOD. ALUM.	A - HINGED	ANOD. ALUM. DOOR SYSTEM

NOTE: IN ACCORDANCE WITH SECTION R308.4, GLAZING IN ALL NEW GLASS DOORS MUST BE TEMPERED SAFETY GLASS.
IN ACCORDANCE WITH SECTION R308.4.3 GLAZING IN ALL NEW WINDOWS MUST BE TEMPERED SAFETY GLASS.

3 WELCOME BUILDING DOOR SCHEDULE

WINDOW SCHEDULE (NOTE: CONFIRM ALL SIZES PRIOR TO ORDERING UNITS)					
#	ROOM	SIZE WIDTH X HEIGHT (UNIT SIZE UNLESS NOTED)	TYPE		NOTES
W01	GENERAL STORE	24'-0" x 2'-0"	FIXED	ANOD. ALUM FIXED TEMP. GL. WINDOW	
W02	GENERAL STORE	3'-0" x 9'-0"	FIXED	FRAMELESS TEMP FIXED GL. WINDOW	
W03	GENERAL STORE	3'-0" x 9'-0"	FIXED	FRAMELESS TEMP FIXED GL. WINDOW	
W04	RECEPTION	6'-0" x 9'-0"	FIXED	ANOD. ALUM FIXED TEMP. GL. WINDOW	
W05	RECEPTION	6'-0" x 9'-0"	FIXED	ANOD. ALUM FIXED TEMP. GL. WINDOW	

NOTE: IN ACCORDANCE WITH SECTION R308.4, GLAZING IN ALL NEW GLASS DOORS MUST BE TEMPERED SAFETY GLASS.
IN ACCORDANCE WITH SECTION R308.4.3 GLAZING IN ALL NEW WINDOWS MUST BE TEMPERED SAFETY GLASS.

4 WELCOME BUILDING WINDOW SCHEDULE

APPLIANCE SCHEDULE (NOTE: CONFIRM ALL MODELS PRIOR TO ORDERING)					
#	ROOM	APPLIANCE	MANUFACTURER	MODEL	NOTES
P1	POOL BAR	DUMP SINK	PERLUCK	TS12HS	
P2	POOL BAR	ICE WELL	PERLUCK	TS(D)361C	ATTACH BOTTLE RAIL SR-S30A
P3	POOL BAR	DRAIN BOARD	PERLUCK	7055A-D	
P4	POOL BAR	GLASS WASHER	ECO-LAB	OMEGA SE	
P5	POOL BAR	DRAIN BOARD	PERLUCK	7055A-D	
P6	POOL BAR	ICE WELL	PERLUCK	TS(D)361C	ATTACH BOTTLE RAIL SR-S30A
P7	POOL BAR	HAND SINK	PERLUCK	TS12HSN	
P8	POOL BAR	SPARKLING TAP	ELKAY	DSC2K	
P9	POOL BAR	UNDER-COUNTER FRIDGE	BEVERAGE-AIR	BB72HC-1-F-B-27	
P10	POOL KITCHEN	HAND SINK	REGENCY	600HS12	
P11	POOL KITCHEN	UNDERBAR FRIDGE	TRUE	TBB-24-72G-HC-LD	
P12	POOL KITCHEN	ICE MACHINE	MANITOWOC	IDT0900A	
P13	POOL KITCHEN	DISH MACHINE	ECO-LAB	EHT-V	
P14	POOL KITCHEN	3-COMP SINK	PERLUCK	TS(D)543CA	
P15	POOL KITCHEN	REACH-IN FRIDGE	TRUE	TS-49-HC	
P16	POOL KITCHEN	REACH-IN FRIDGE	TRUE	TS-49-HC	
P17	POOL KITCHEN	REACH-IN FRIDGE	TRUE	TS-49-HC	
P18	POOL KITCHEN	REACH-IN FRIDGE	TRUE	TS-49-HC	
P19	POOL KITCHEN	SANDWICH TABLE	TRUE	TFP-48-18M-D-2	
P20	POOL KITCHEN	TURBO CHEF	TURBO CHEF	ECO ST EL BANDIDO	
P21	POOL KITCHEN	SANDWICH TABLE	TRUE	TFP-48-18M-D-2	
P22	POOL KITCHEN	PREP SINK	ADVANCE TABCO	FC-1-2424-18RorL	
P23	POOL KITCHEN	COFFEE TABLE	AMERICAN COFFEE URN	5507 - LEFT DRAIN	
P24	POOL KITCHEN	COFFEE MAKER	CURTIS	G4TP210A3100 TWN	
P25	POOL BAR	U.C. SPARKLING WATER	ELKAY	DSFB180K	

5 POOL BAR APPLIANCE SCHEDULE

PLAN NOTES

- DO NOT SCALE DRAWINGS
- REFER TO STRUCTURAL DRAWINGS FOR ALL NEW FOUNDATION AND STRUCTURAL FRAMING WORK
- PROVIDE SAFETY GLAZING AT GLASS DOORS, LOW WINDOWS, BATHRM LOCATIONS
- ALL REQUIRED GUARDRAILS TO BE MINIMUM 42" HIGH (CBC 1013.2)
- STAIRS SHALL HAVE MAX. 7-3/4" RISERS AND MIN. 10" TREADS. THE MIN. WINDER TREAD DEPTH AT THE WALK LINE SHALL BE 10" & THE MIN. WINDER TREAD DEPTH SHALL BE 6". (CBC 1009.3)
- LIGHTING AT KITCHEN TO BE HIGH EFFICACY TYPE FOR 1/2 TOTAL WATTAGE, WITH REMAINING LIGHTS ON SEPARATE SWITCHES, PER 2019 CA TITLE 24, PART 6 SECTION 150(K)2
- INTERIOR LIGHTING OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS SHALL COMPLY WITH 2019 CEC 150(K)7.
- LIGHTING OUTDOORS SHALL COMPLY WITH CEC 150(K)9.
- PROVIDE MIN. NATURAL VENTILATION OPENINGS FOR ROOMS, OF AT LEAST 4% AREA OF ROOM, PER CBC 1204.1, OR MECHANICAL VENTILATION, PER CMC 402.3
- ALL EXHAUST OUTLETS TO TERMINATE OUTSIDE THE BUILDING, MIN. 3'-0" FROM PROPERTY LINE, PER CMC 504.1 & CMC 504.5
- PROVIDE SMOKE DETECTORS, 110V W/ BATTERY BACKUP AT ALL BEDROOMS AND HALLWAYS (PER CBC 907.2.10.1.2). PROVIDE CARBON MONOXIDE ALARM IN EACH LEVEL TO COMPLY WITH CBC 420.6.1.4.
- OUTLETS AS REQUIRED, CONFIRM LOCATIONS W/ ARCHITECT. LOCATE SPECIFIC OUTLETS AS SHOWN.
- LOCATE FLOOR PLUGS 6" ABOVE FINISH FLOOR.
- PROVIDE ESCAPE / RESCUE WINDOWS AT ALL BEDROOMS (CBC 1029.1). WINDOWS TO HAVE MIN. 5.7 SQ. FT. NET OPERABLE AREA, WITH MIN. 24" NET CLEAR OPERABLE HEIGHT, AND 20" NET CLEAR OPERABLE WIDTH MAX SILL HEIGHT TO BE 44" ABOVE FINISH FLOOR, (2019 CBC R310).
- WALLS WITHIN 5 FT OF PROPERTY LINE TO BE 1-HR RATED, PER CBC TABLE 602.
- PROVIDE 3/8" TYPE "X" GYP BOARD AT GARAGE CEILINGS (CBC 302.4 EXCEPTION 3), WALLS, AND EXPOSED STRUCTURAL MEMBERS (CBC 406.1.4)
- BATHROOM LIGHTING SHALL COMPLY WITH 2019 CEC 150(K)5.
- GARAGE LIGHTING SHALL COMPLY WITH 2019 CEC 150(K)6.



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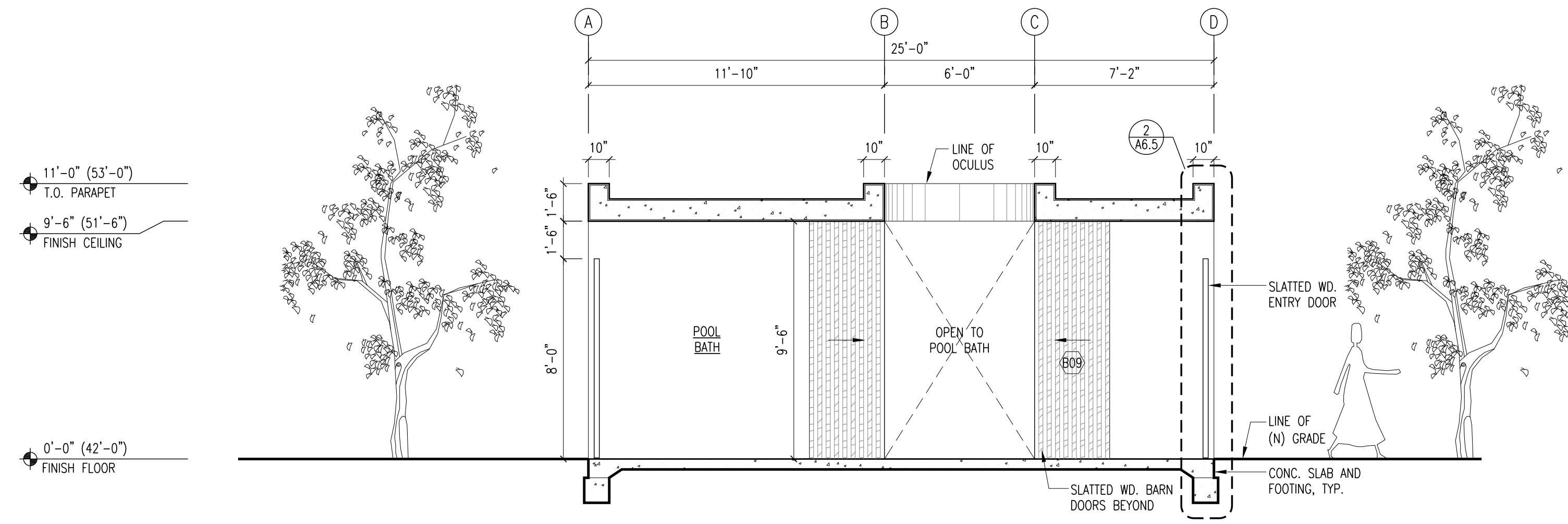
SCHEDULES

A2.16

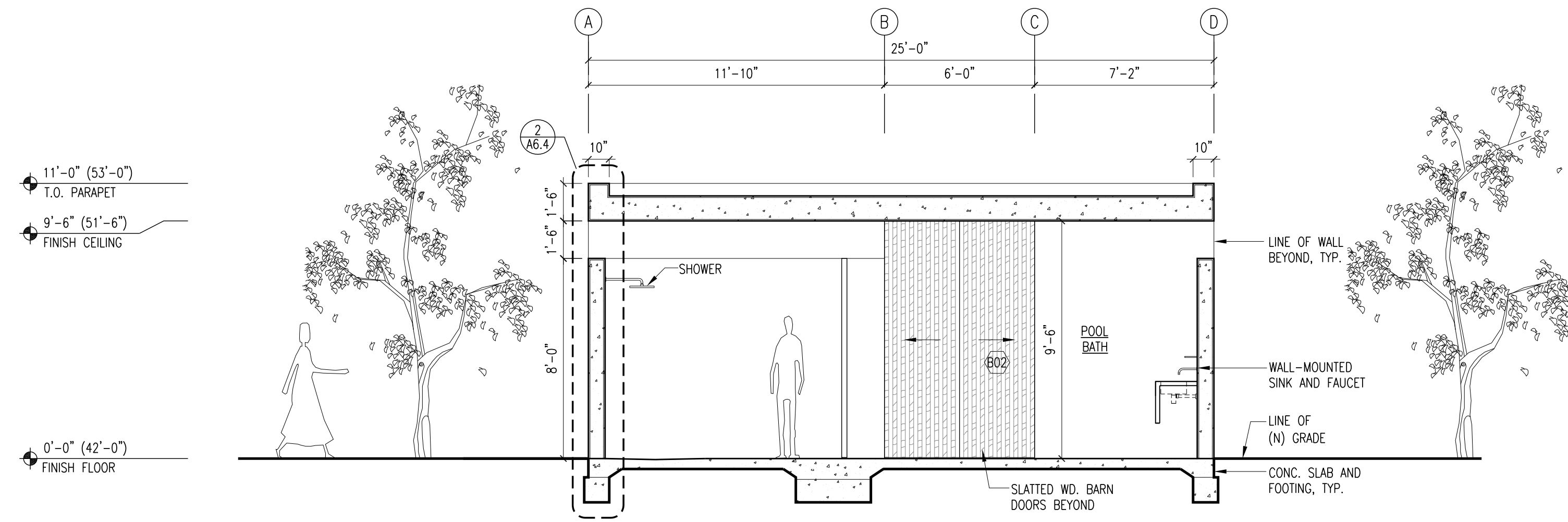


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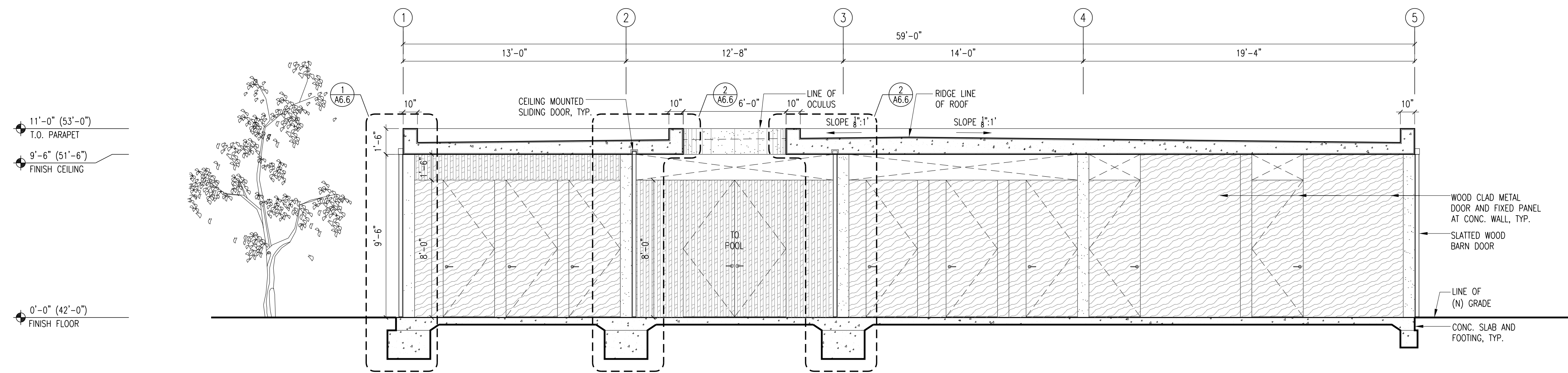
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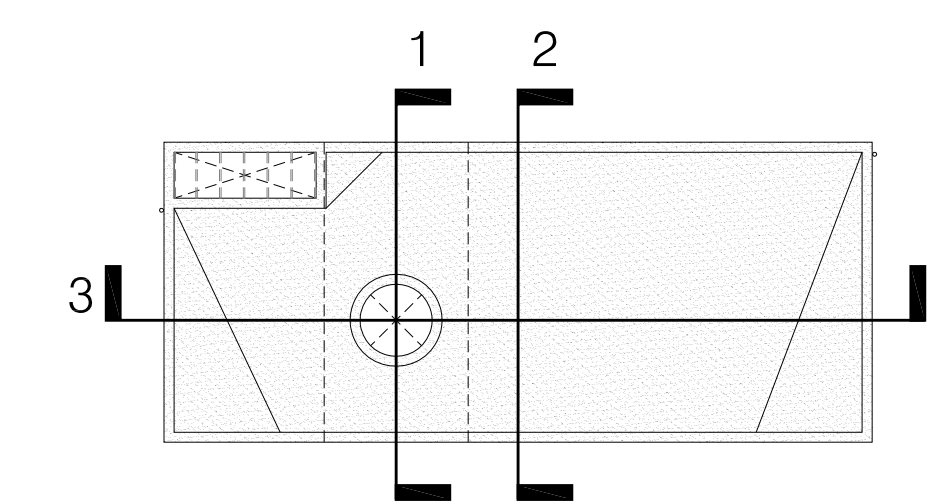
1 CROSS SECTION AT POOL BATH ENTRY - PROPOSED
3/4" = 1'-0"



2 CROSS SECTION AT POOL BATH SHOWER/SINK - PROPOSED
3/4" = 1'-0"



3 LONGITUDINAL SECTION AT POOL BATH - PROPOSED
3/4" = 1'-0"



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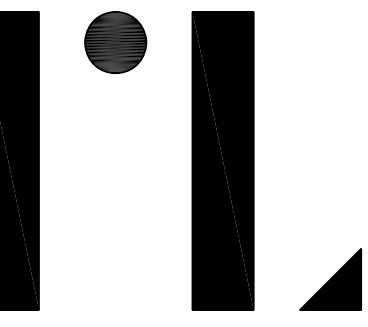
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POOL BATH
SECTIONS
PROPOSED

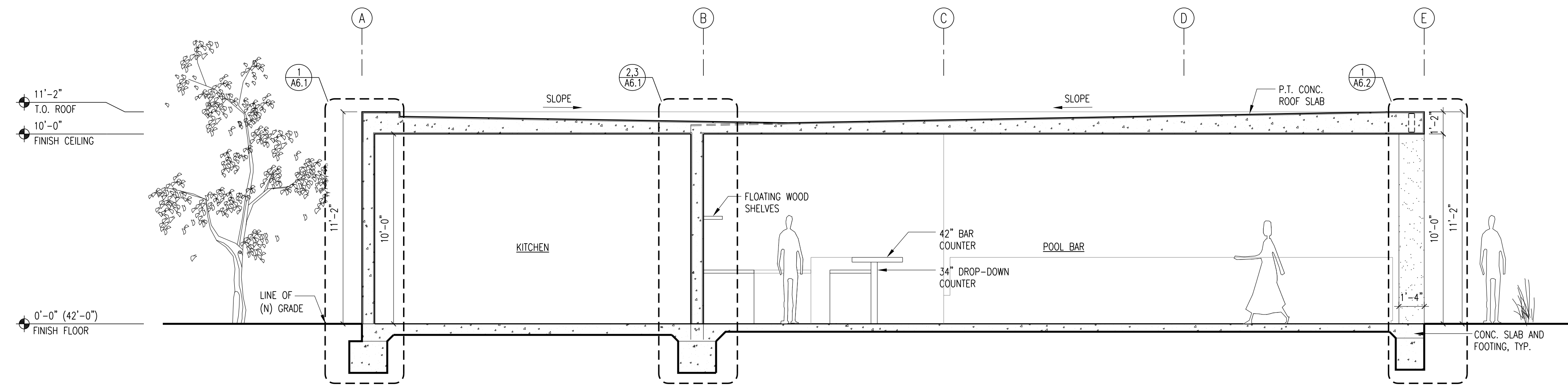
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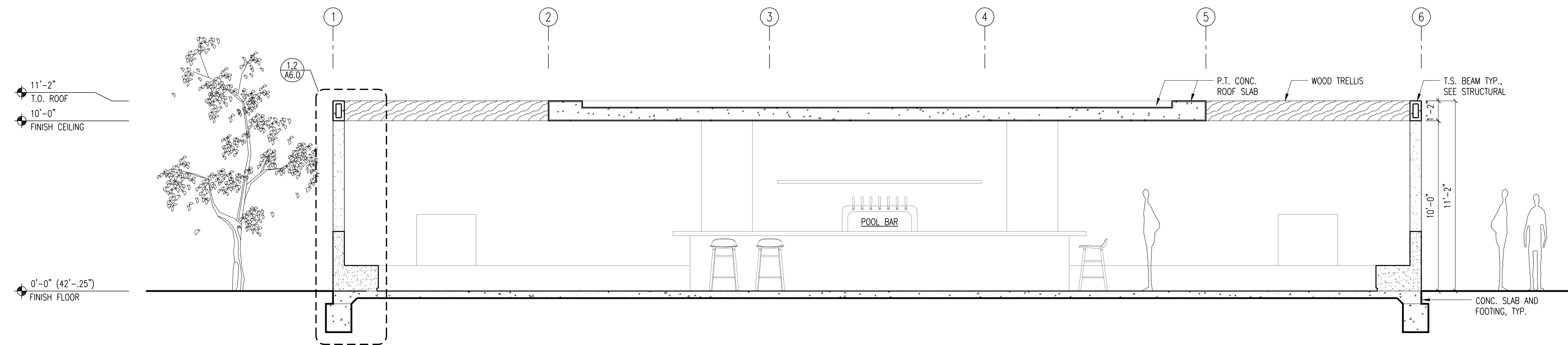


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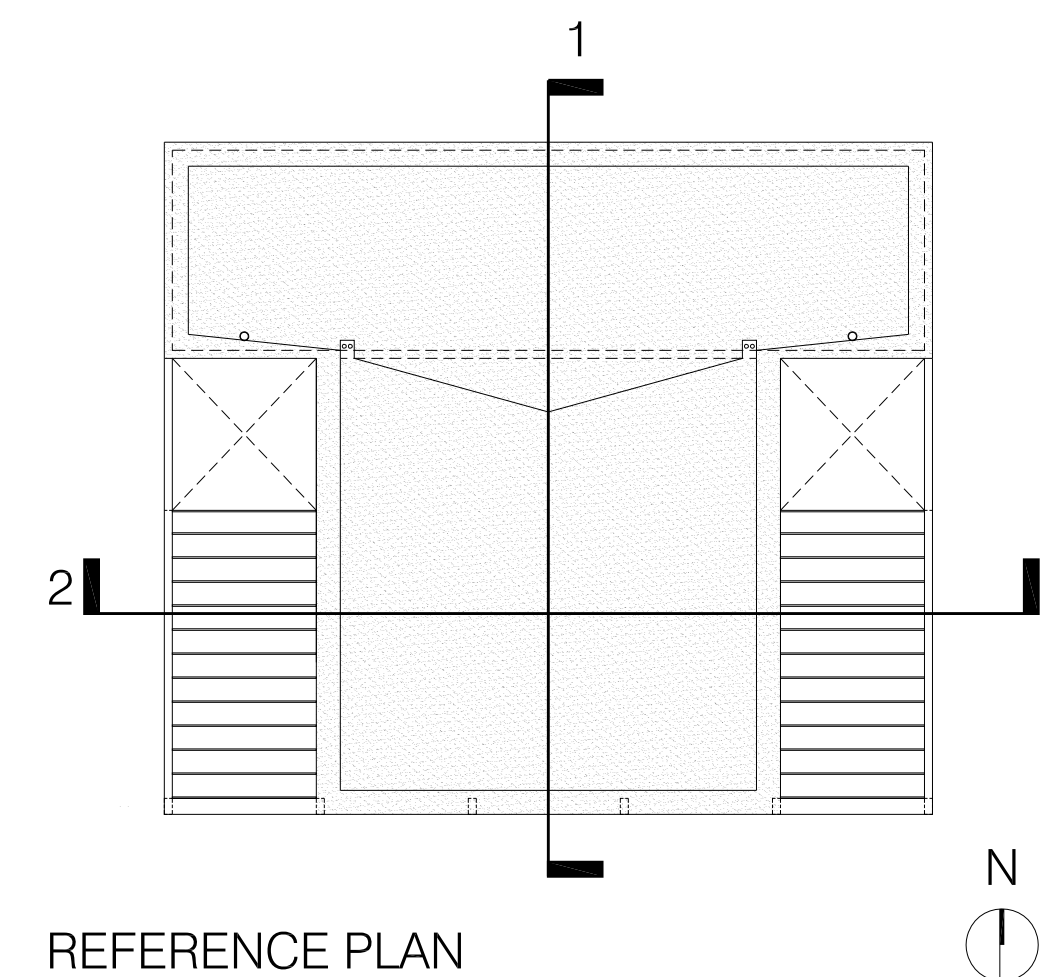
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1 CROSS SECTION AT POOL BAR - PROPOSED
1/4" = 1'-0"



2 LONGITUDINAL SECTION AT POOL BAR - PROPOSED
1/4" = 1'-0"



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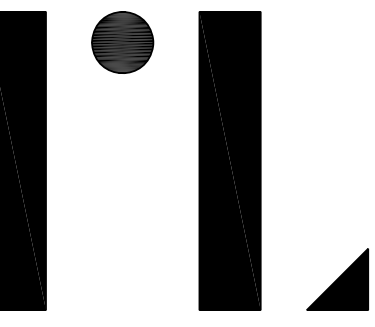
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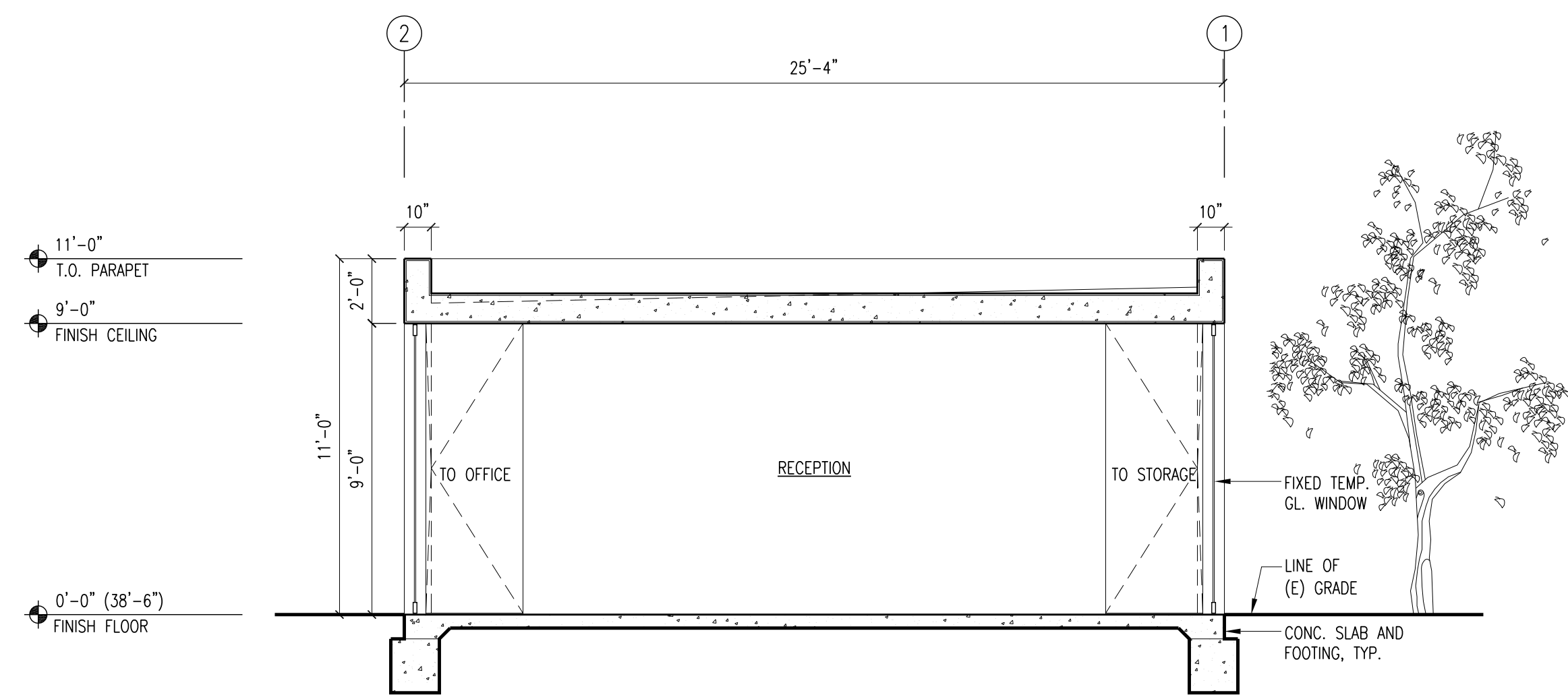
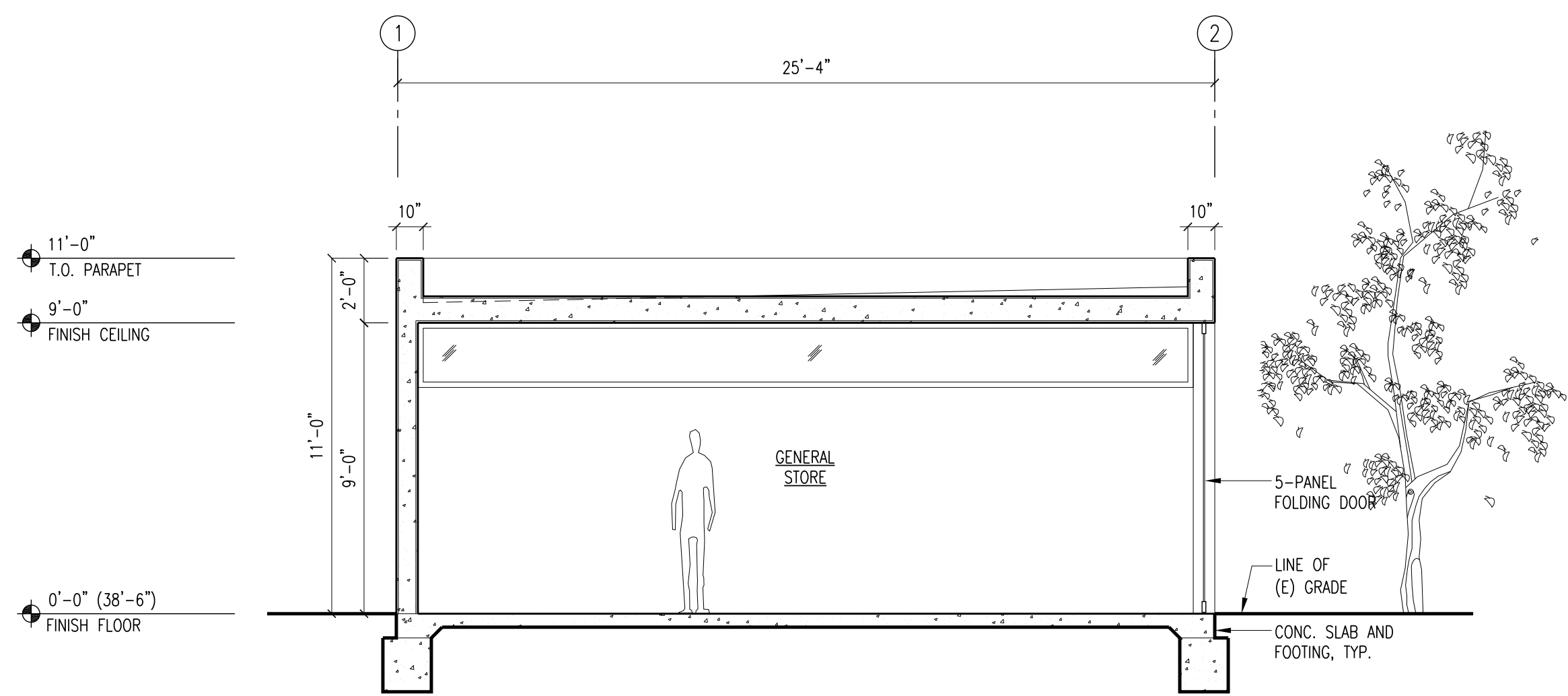
POOL BAR
SECTIONS
PROPOSED

A3.1



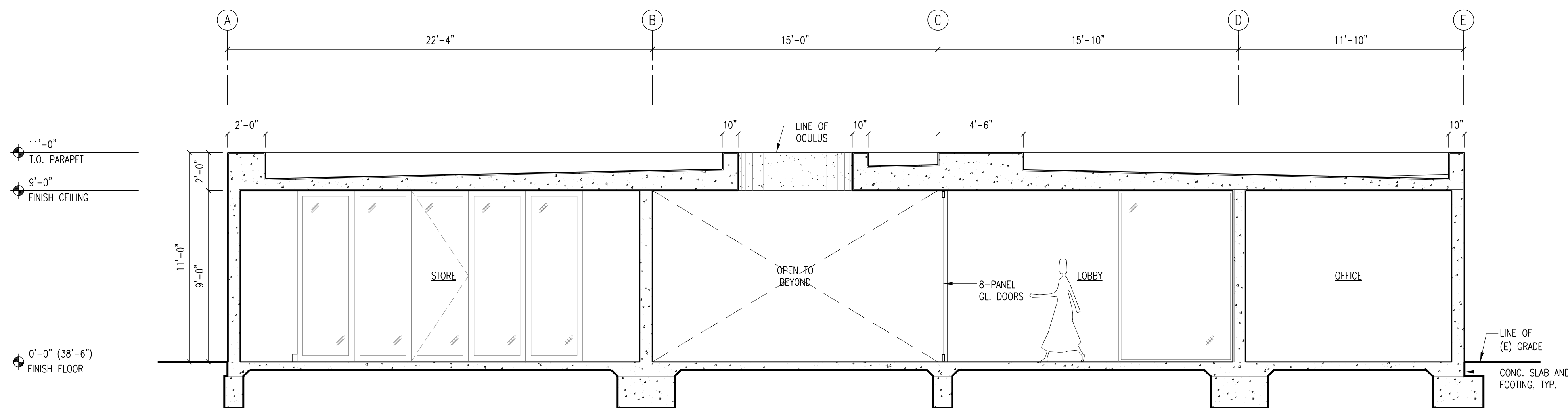
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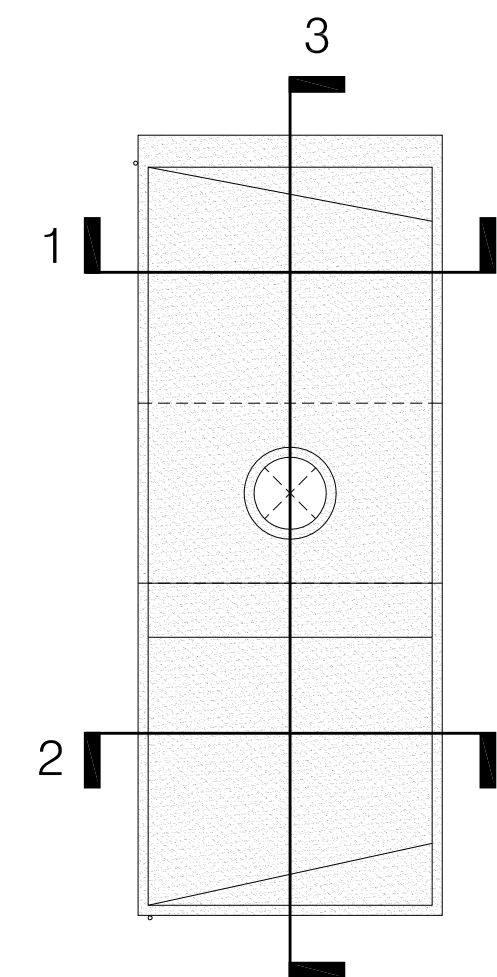


1 CROSS SECTION AT WELCOME BUILDING (STORE) - PROPOSED
1/4" = 1'-0"

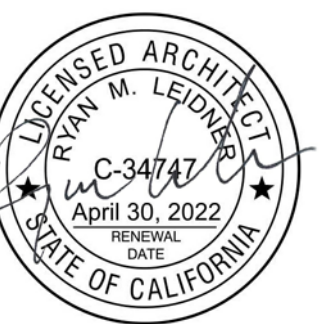
2 CROSS SECTION AT WELCOME BUILDING (LOBBY) - PROPOSED
1/4" = 1'-0"



3 LONGITUDINAL SECTION AT WELCOME BUILDING - PROPOSED
1/4" = 1'-0"



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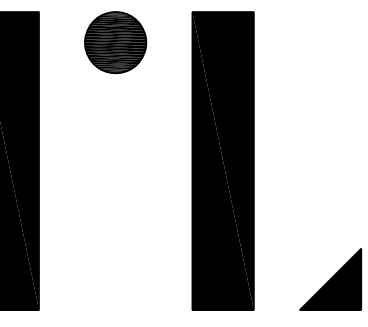
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WELCOME BLDG
SECTIONS
PROPOSED

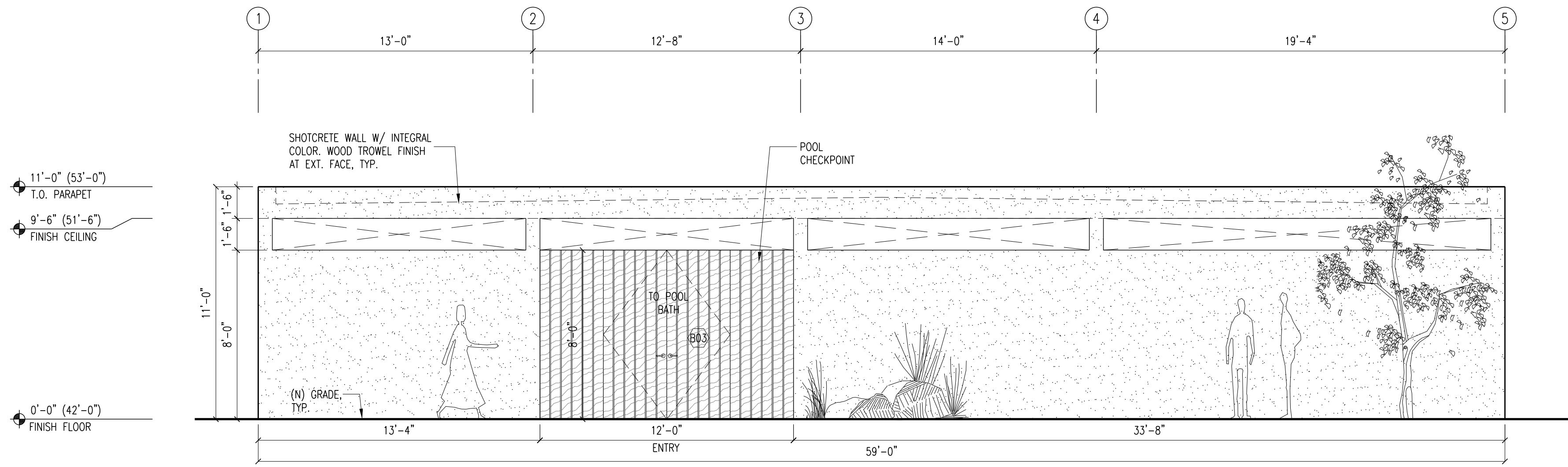
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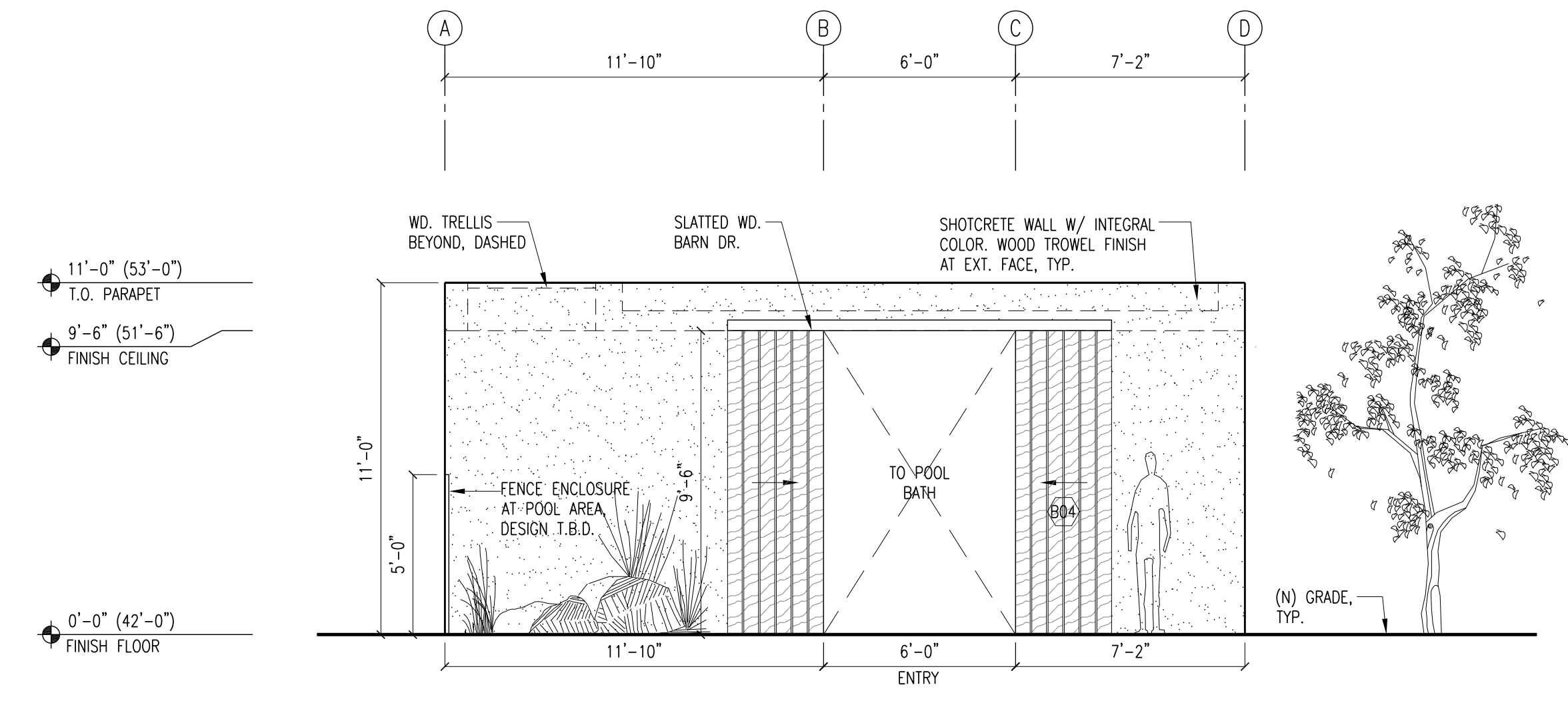


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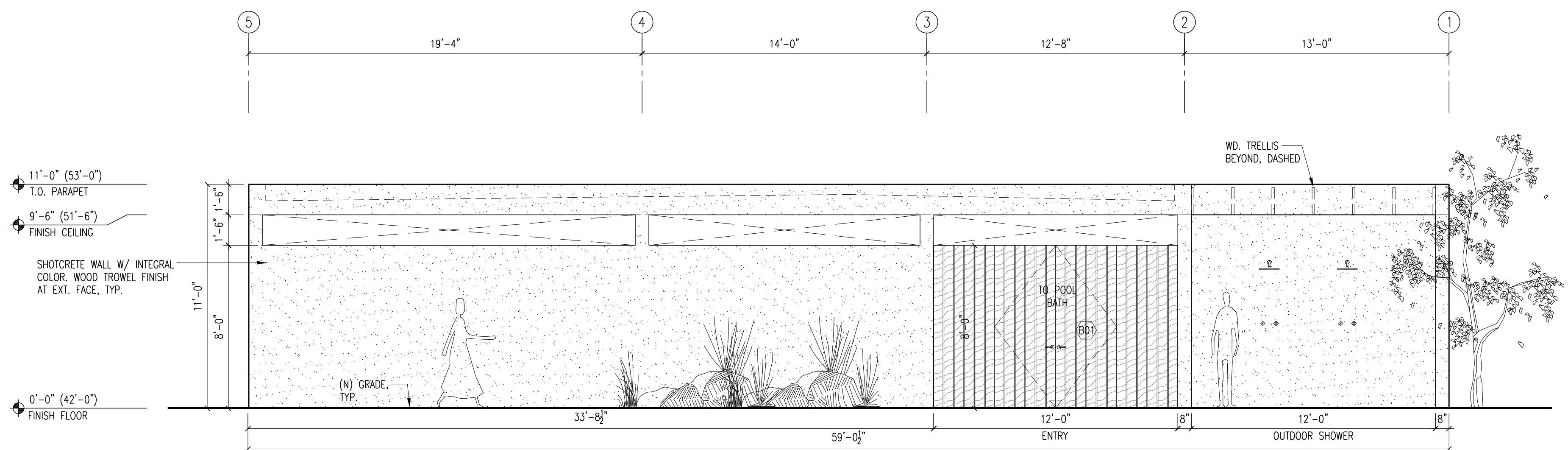
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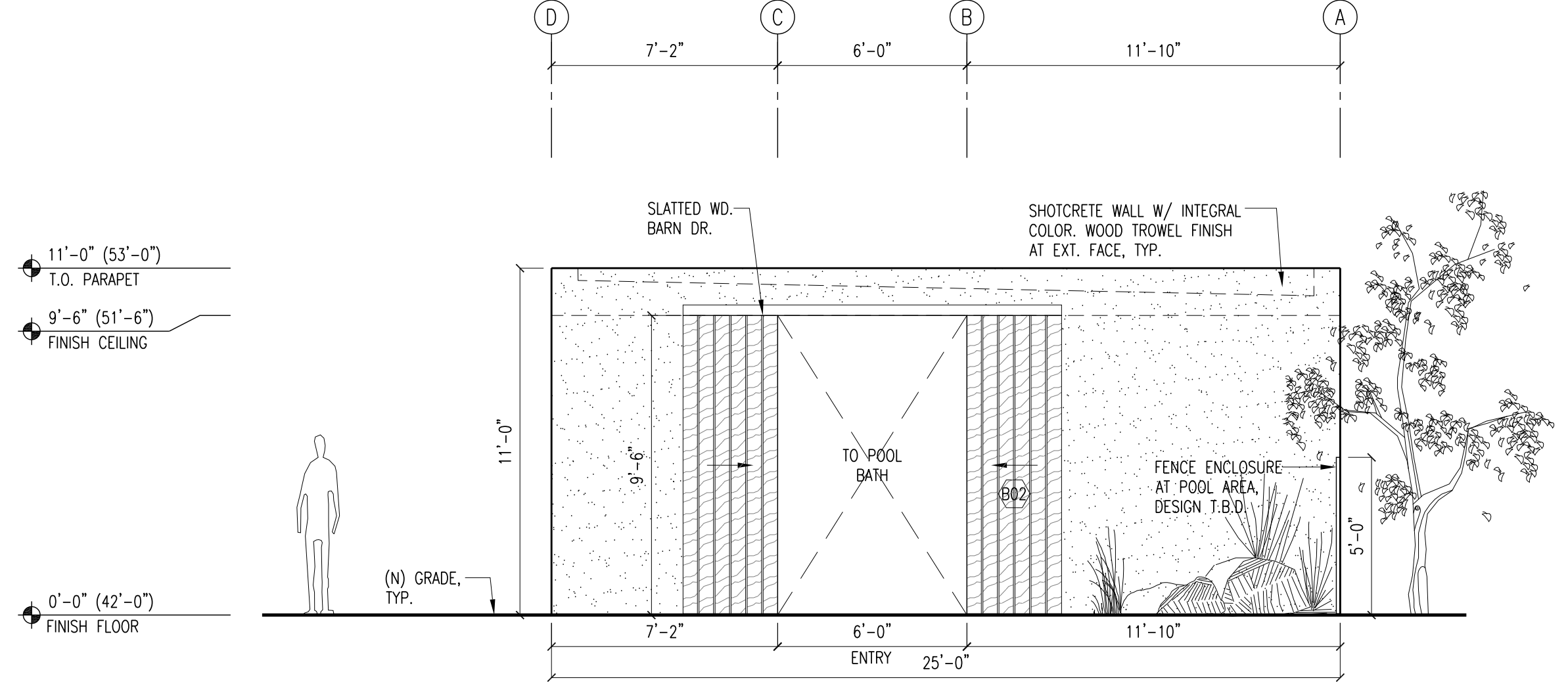
1 SOUTH ELEVATION AT POOL BATH - PROPOSED
1/4" = 1'-0"



2 WEST ELEVATION AT POOL BATH - PROPOSED
1/4" = 1'-0"



3 NORTH ELEVATION AT POOL BATH - PROPOSED
1/4" = 1'-0"



4 EAST ELEVATION AT POOL BATH - PROPOSED
1/4" = 1'-0"



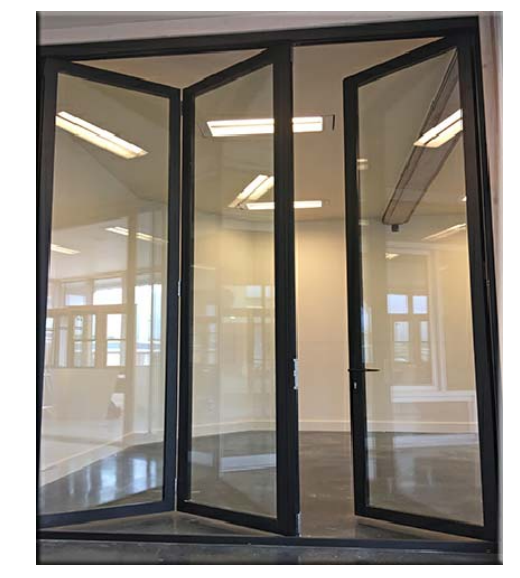
A SEQUOIA SAND SHOTCRETE



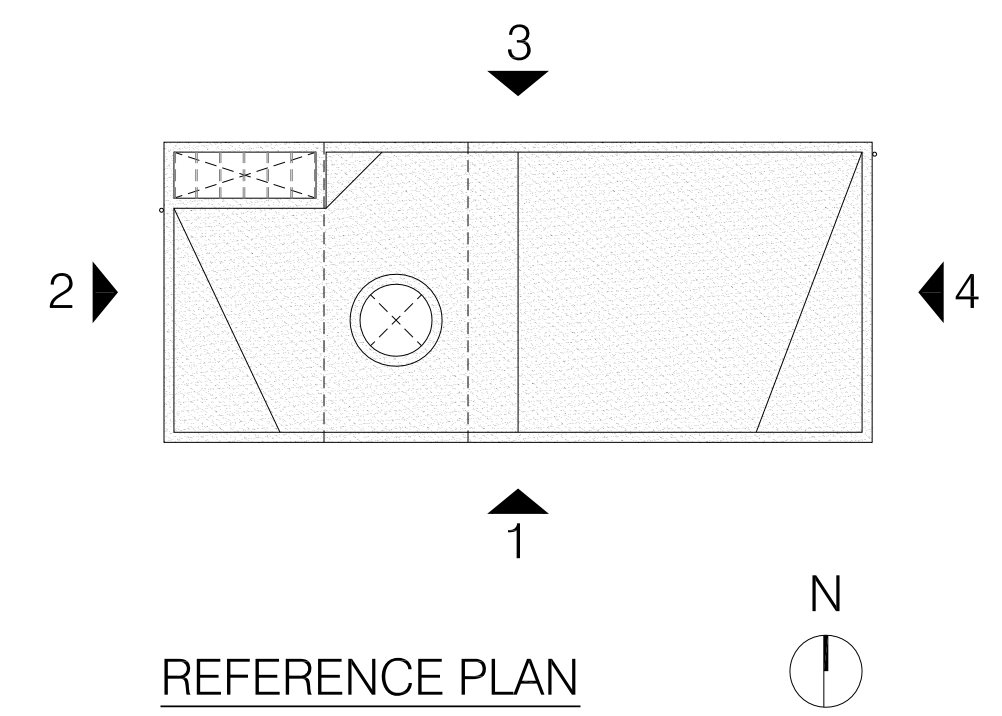
B SANDSTONE SHOTCRETE



C BRONZE ANODIZED ALUM. DOORS AND WINDOWS



D REDWOOD CLAD DOORS



5 PROPOSED MATERIAL PALETTE



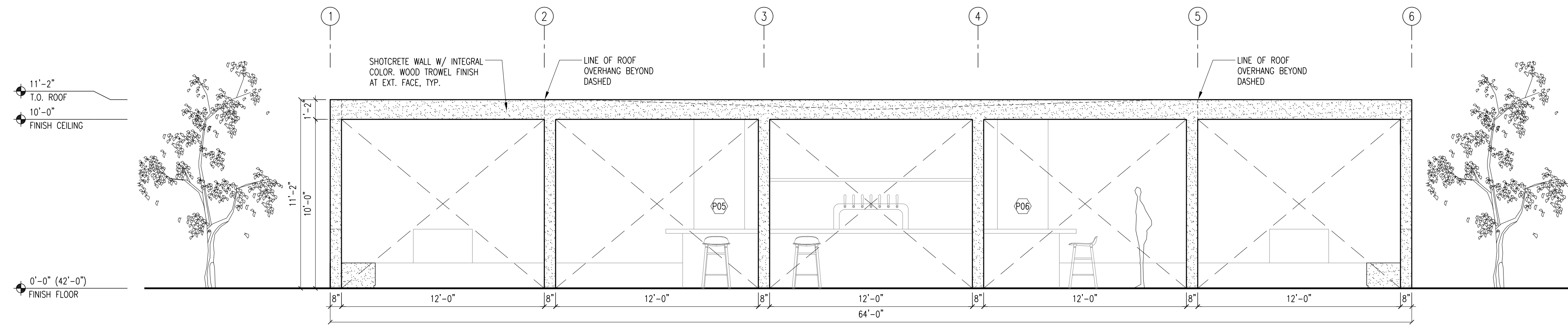
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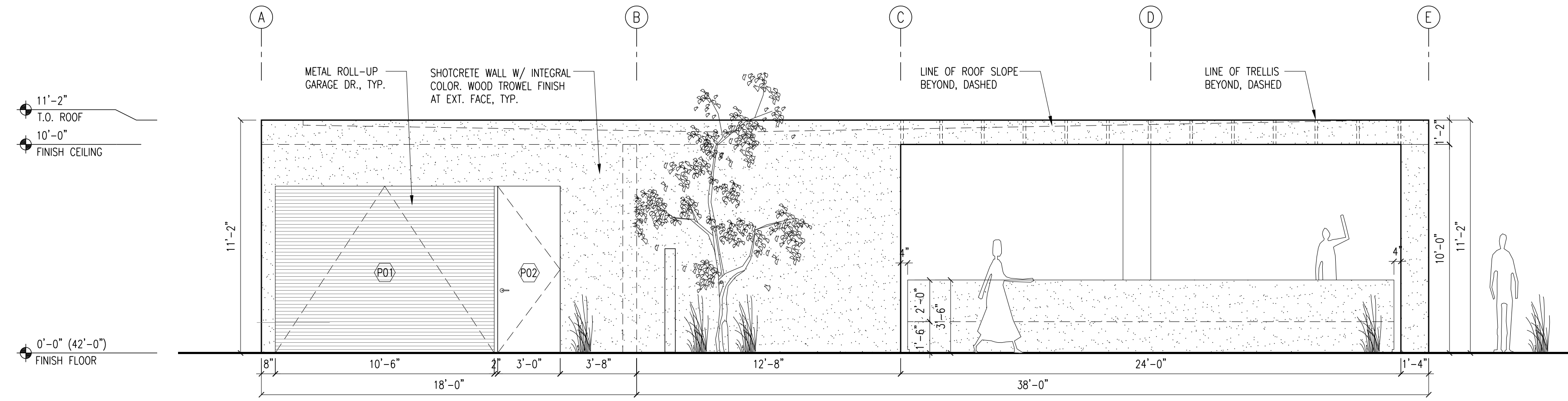
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POOL BATH
ELEVATIONS
PROPOSED

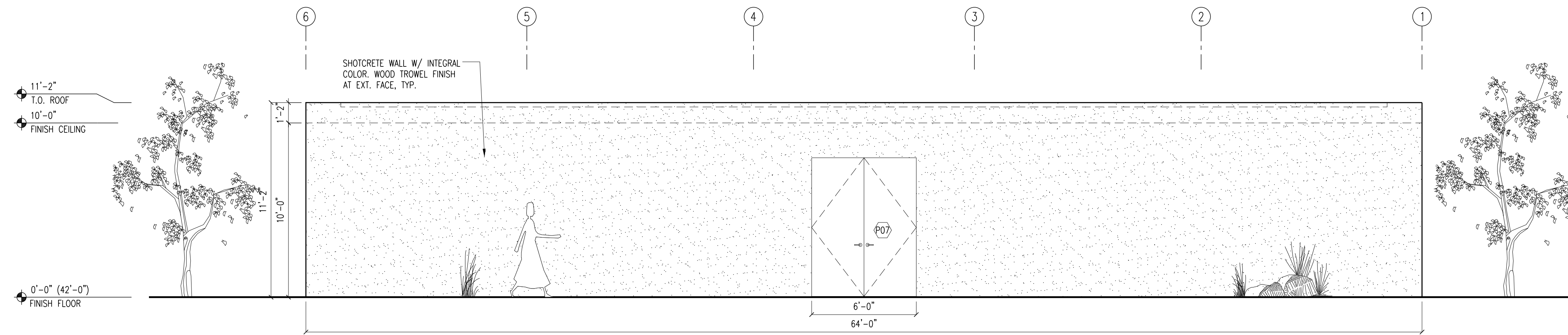
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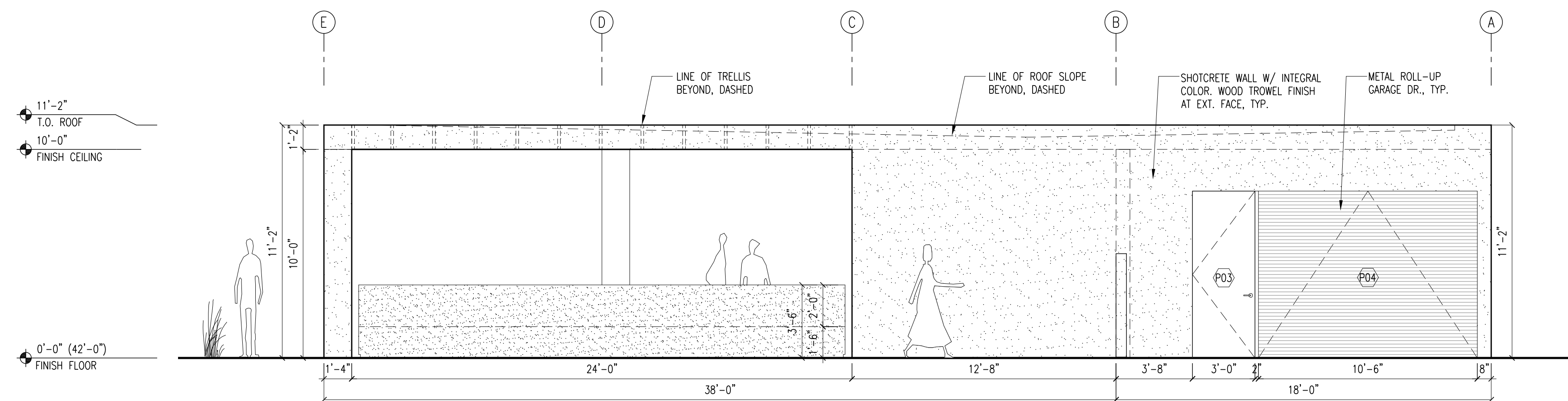
1 SOUTH ELEVATION AT POOL BAR - PROPOSED
 $\frac{3}{4}" = 1'-0"$



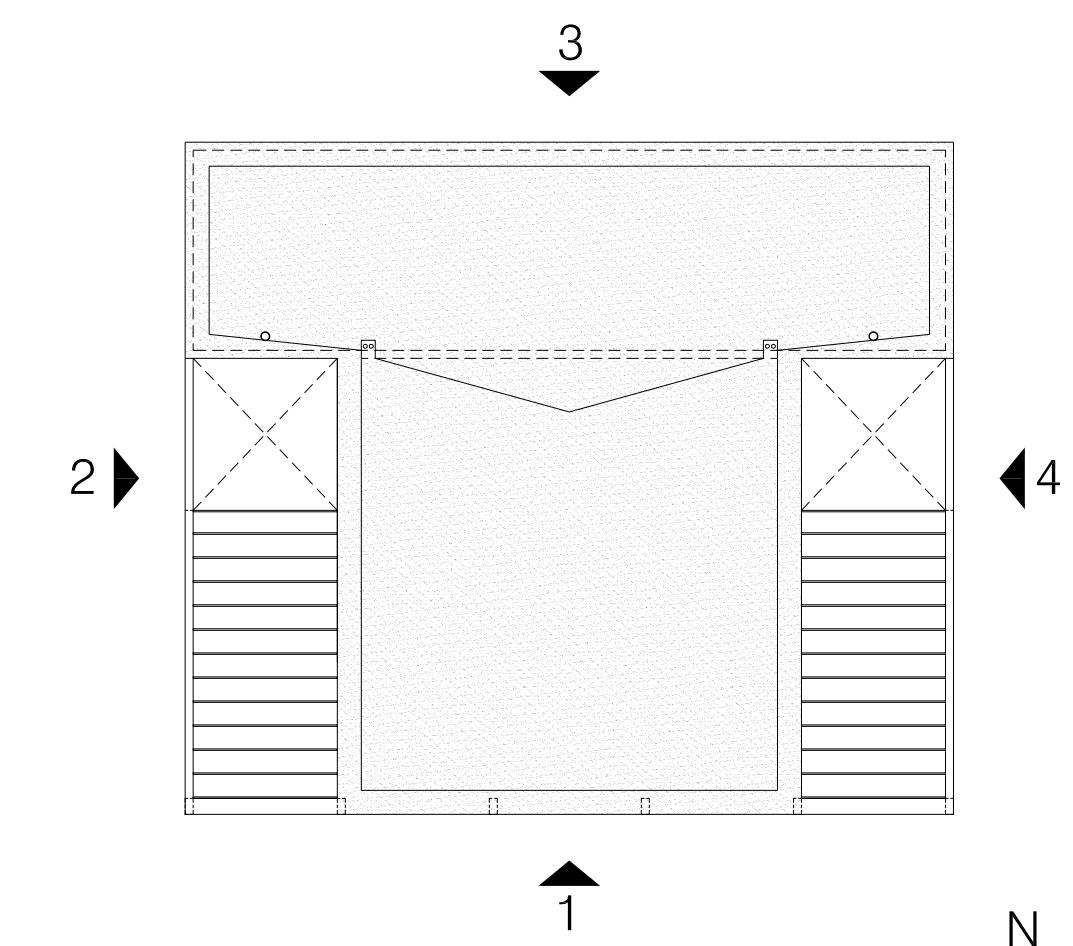
2 WEST ELEVATION AT POOL BAR - PROPOSED
 $\frac{3}{4}" = 1'-0"$



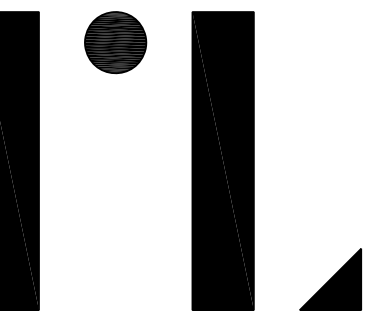
3 NORTH ELEVATION AT POOL BAR - PROPOSED
 $\frac{3}{4}" = 1'-0"$



4 EAST ELEVATION AT POOL BAR - PROPOSED
 $\frac{3}{4}" = 1'-0"$



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POOL BAR
 ELEVATIONS
 PROPOSED

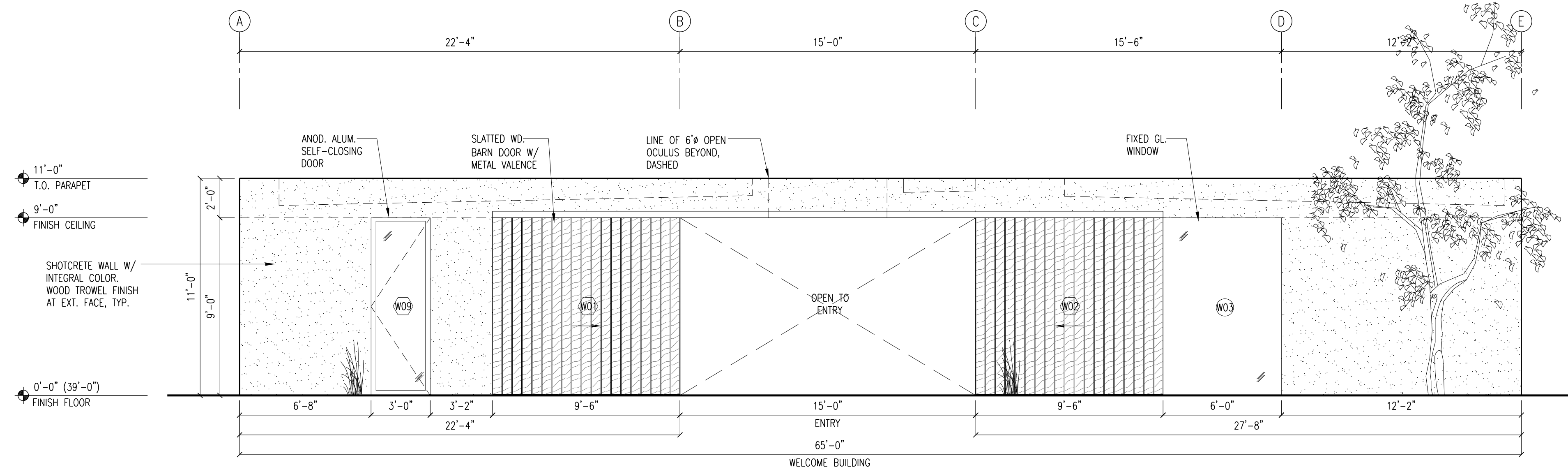
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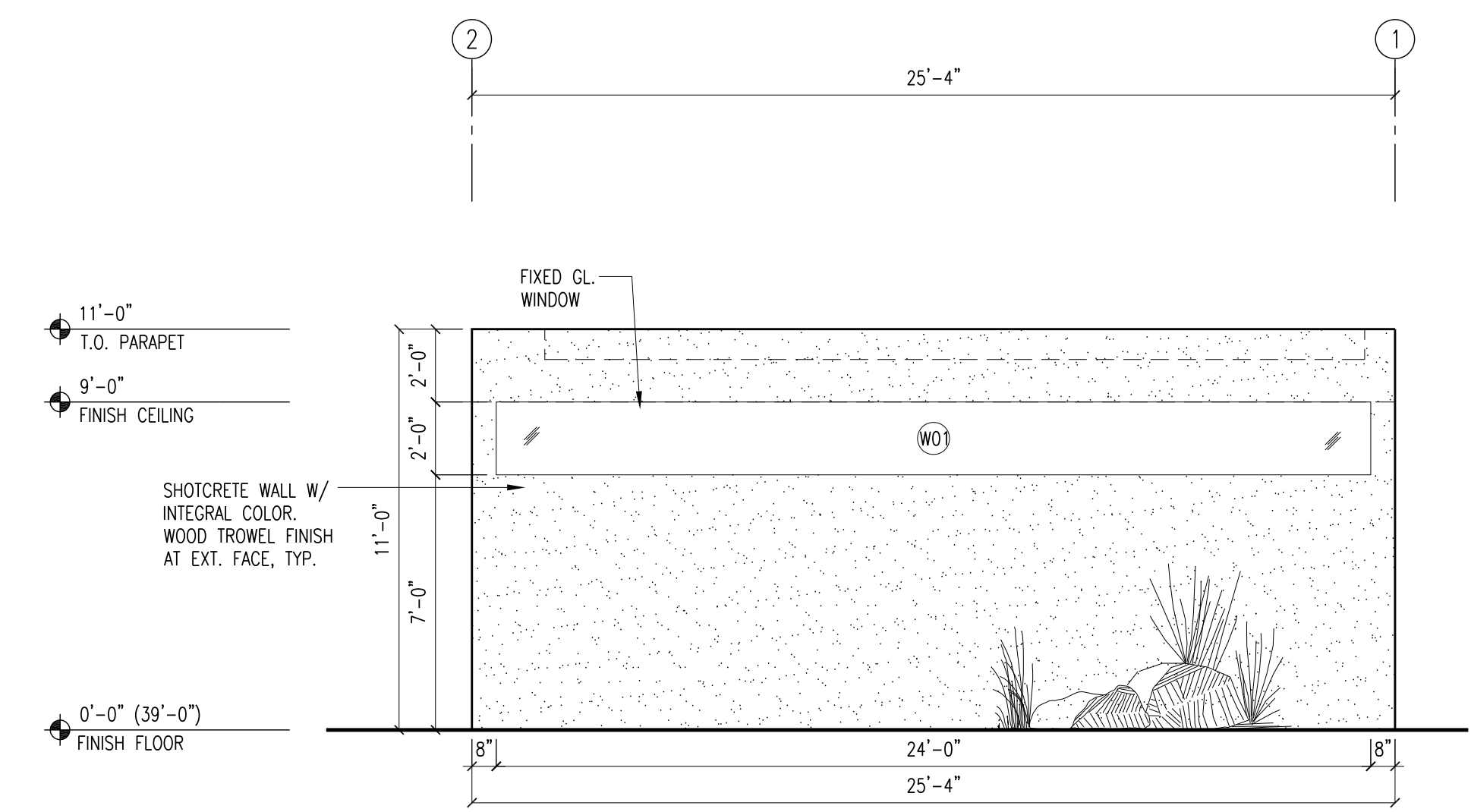


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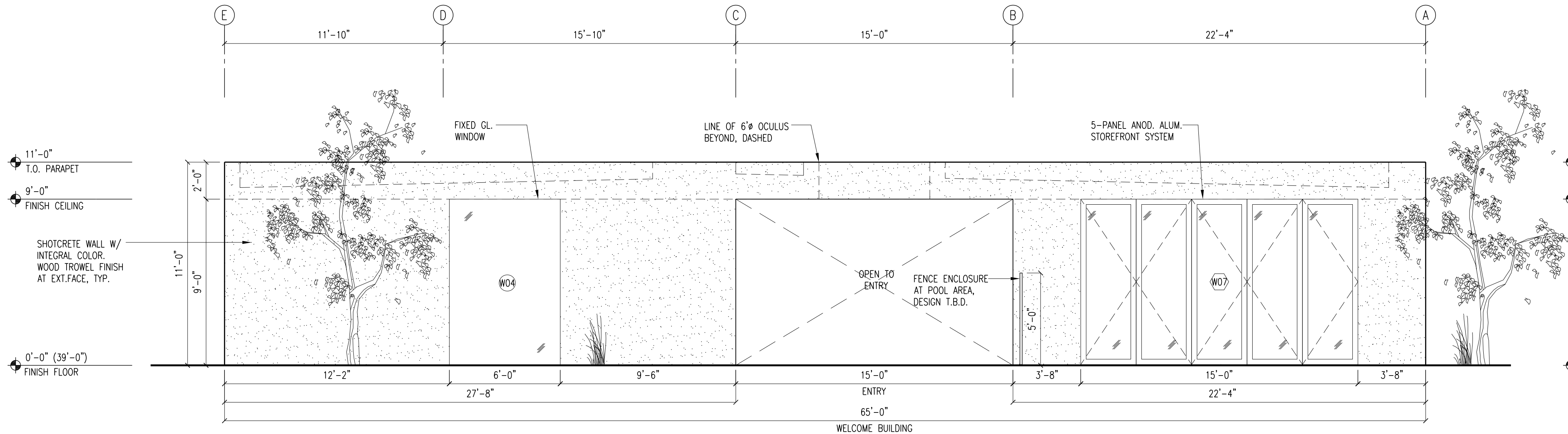
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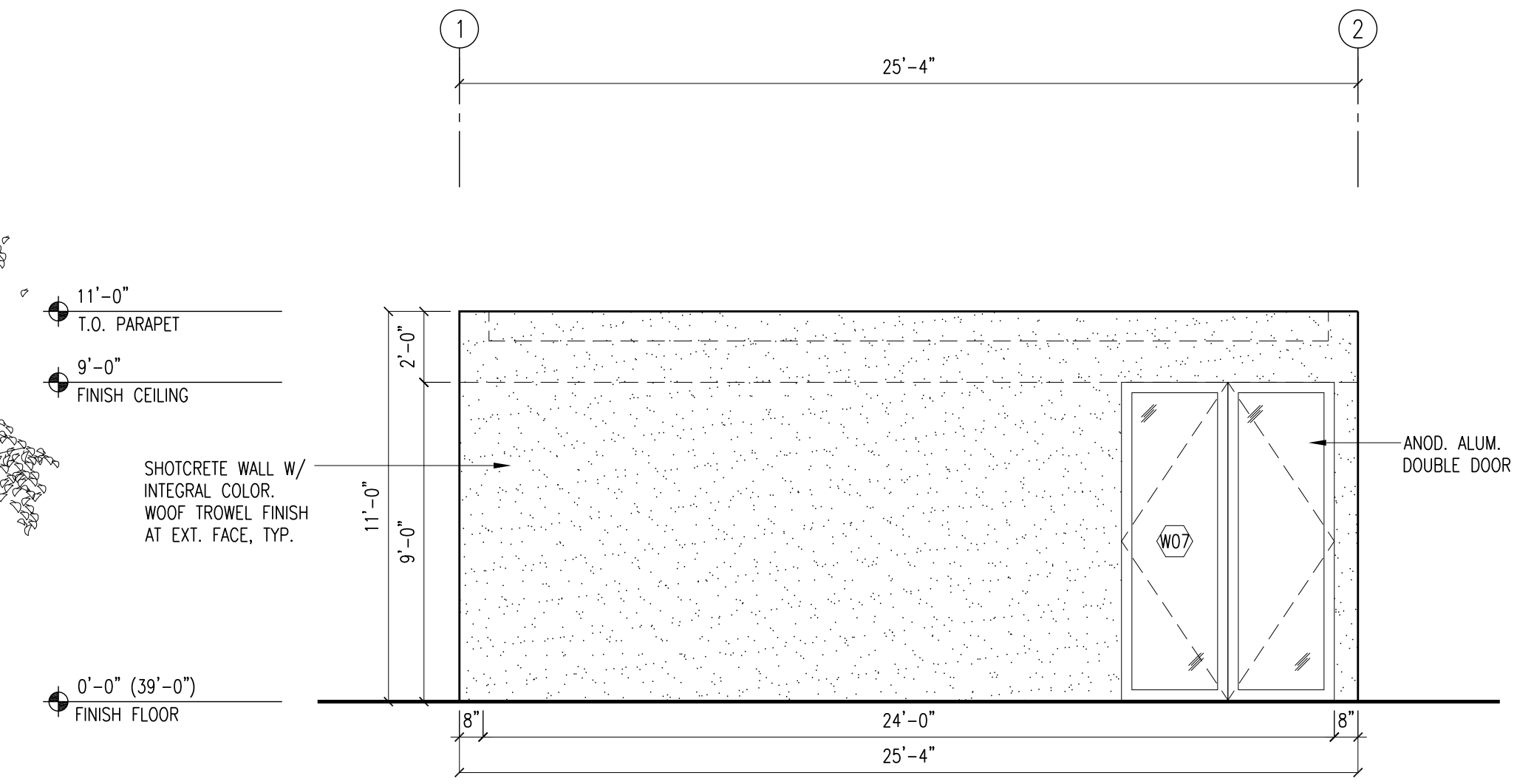
1 WEST ELEVATION AT WELCOME BUILDING - PROPOSED
1/4" = 1'-0"



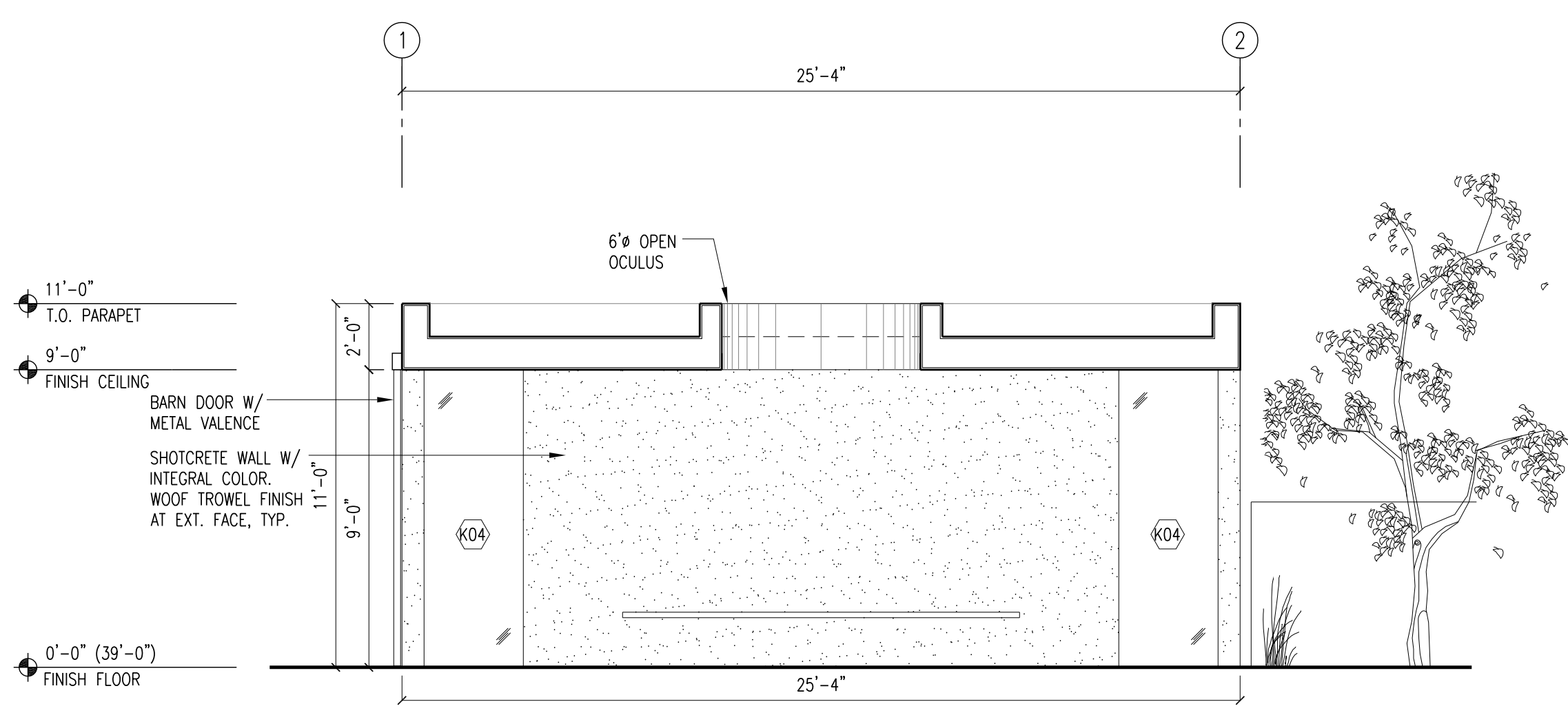
2 NORTH ELEVATION AT WELCOME BUILDING - PROPOSED
1/4" = 1'-0"



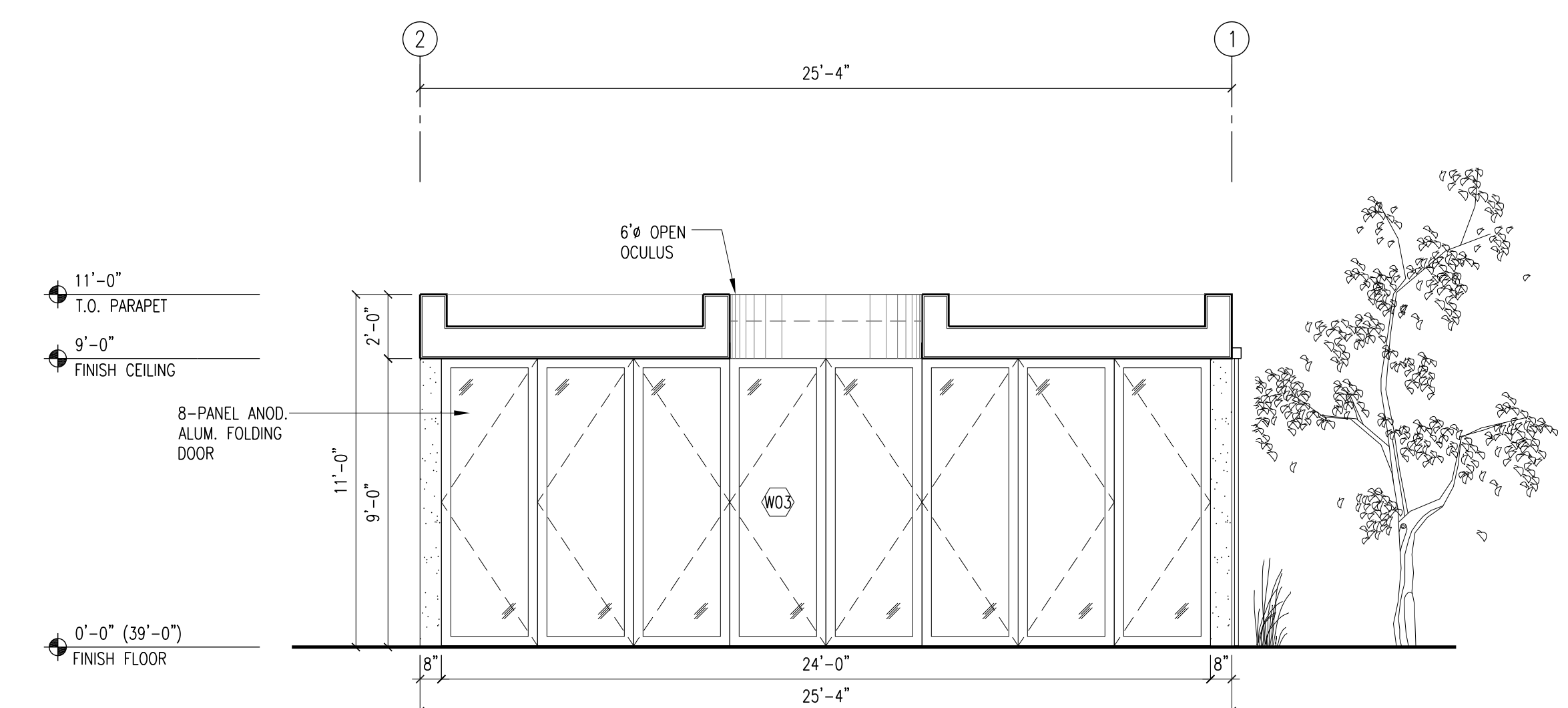
3 EAST ELEVATION AT WELCOME BUILDING - PROPOSED
1/4" = 1'-0"



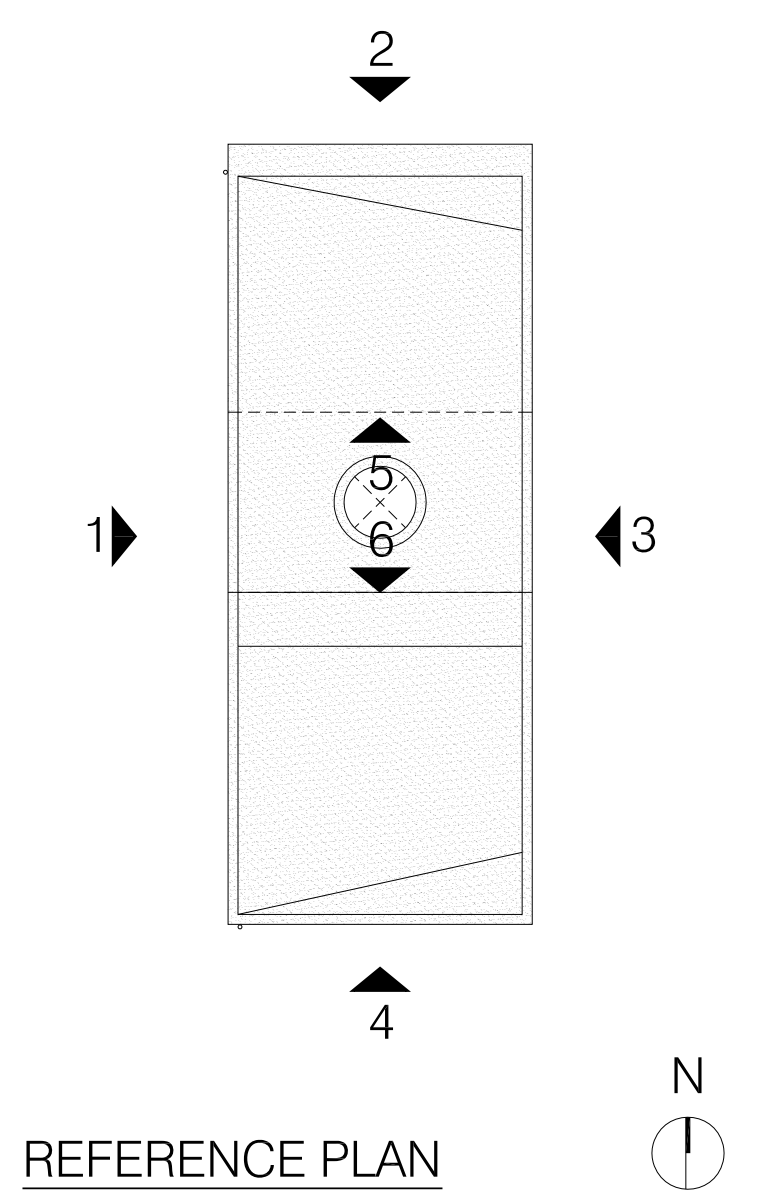
4 NORTH ELEVATION AT WELCOME BUILDING - PROPOSED
1/4" = 1'-0"



5 NORTH ELEVATION AT WELCOME BUILDING (STORE) - PROPOSED
1/4" = 1'-0"



6 SOUTH ELEVATION AT WELCOME BUILDING (RECEPTION) - PROPOSED
1/4" = 1'-0"



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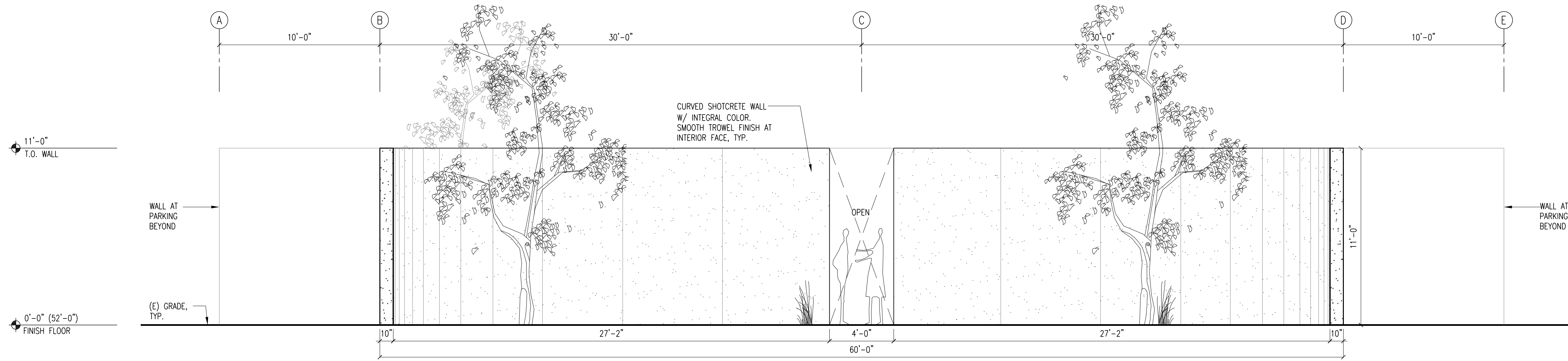
WELCOME BLDG
ELEVATIONS
PROPOSED

A4.2

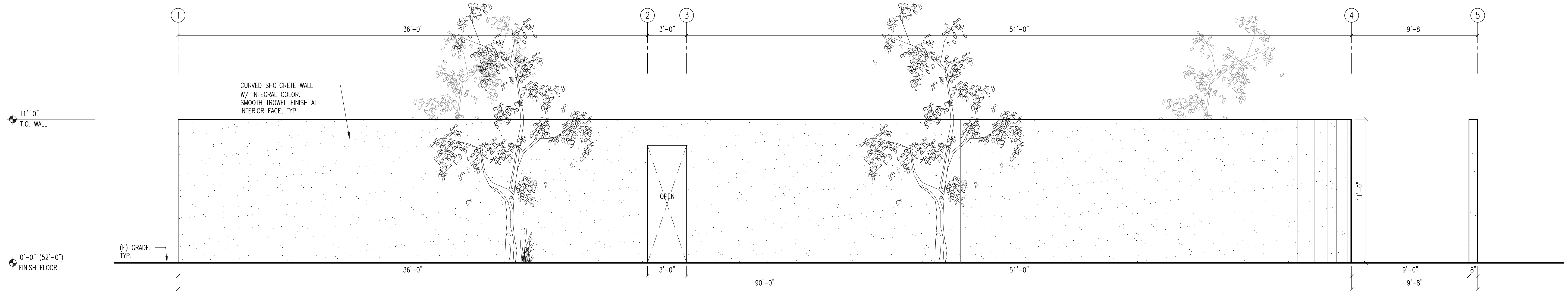


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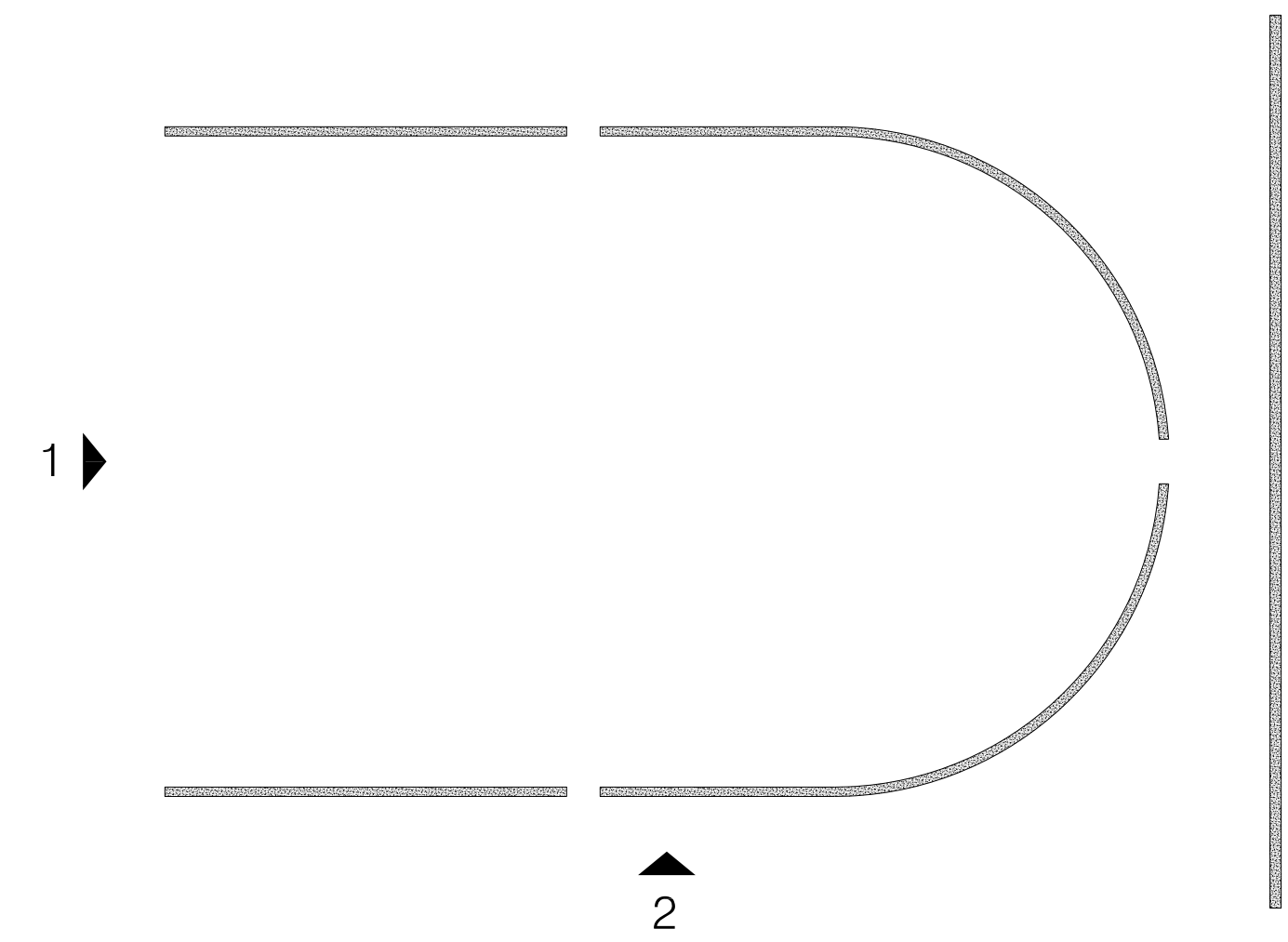
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1 WEST ELEVATION AT KNOLL - PROPOSED
1/4" = 1'-0"



2 SOUTH ELEVATION AT KNOLL - PROPOSED
1/4" = 1'-0"



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KNOLL
ELEVATIONS
PROPOSED

A4.3

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FLEETWOOD BRONZE ANODIZED ALUMINUM DOORS



REDWOOD CLAD DOORS



COLORLED SHOTCRETE WALLS (SEQUOIA SAND)

PROPOSED MATERIAL PALETTE

PROJECT ADDRESS:

RIVER ELECTRIC
16101 NEELEY RD.
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