

DESIGN REVIEW COMMITTEE MEMORANDUM

DATE: September 15, 2021
ITEM: No. 1 - 1:35pm
FROM: Derik Michaelson, Project Planner

SUBJECT: File No.: **DRH21-0005**; New warehouse
Applicant: Sonoma Vintage Enterprises, Inc.
Address: 22045 Carneros Vineyard Way
APN(s): 128-680-016.

Request

Preliminary Design Review to consider the site plan, architectural design, parking layout, and landscaping for a new 82,700 square-foot metal-framed warehouse building served by public sewer and a private well on a 5.57-acre parcel (Carneros Business Park, Lot 16). Parcel zoning: MP (Industrial Park), RC100 (Riparian Corridor 100ft setback) VOH (Valley Oak Habitat)

Background

The project site is Lot 16 of the Carneros Business Park and intended for warehouse development as proposed. No special considerations regarding the proposed warehouse design have been identified at this time.

Recommendation

Forward a recommendation to Permit Sonoma approving the preliminary design plans with draft conditions as proposed, or with direction to proceed with permitting for staff approval of any specified revisions or refinements

Environmental Review

Permit Sonoma has determined the project consistent with the Mitigated Negative Declaration adopted for the Carneros Business Park on February 13, 2002, and not subject to further environmental review pursuant to Section 15183 (Projects Consistent with a Community Plan or Zoning) of the California Environmental Quality Act. The, and the establishment of allowable warehouse uses as anticipated for the project is within the expected intensity levels analyzed by the previously adopted mitigation for development in the Carneros Business Park.

Attachments

1. Applicant proposal
2. Vicinity Map
3. Draft conditions
4. Draft approval findings
5. Parcel Map - Carneros Business Park
6. Project Plans



North Bay Warehousing, LLC
PO BOX 1344
SONOMA, CA. 95476

April 29, 2021
County of Sonoma
Permit Sonoma
Planning Division
Administration Drive, Ste. 100A
Santa Rosa, Ca. 95403

RE: North Bay Warehousing, LLC Project Review

The Carneros Business Park is a 53-acre industrial subdivision in the South Sonoma Valley which was approved in 2001 by the County of Sonoma under (file# PLP 99-0035). As the lead agency, the County prepared a MND analyzing a 17-lot industrial subdivision and principally permitted industrial park (MP) uses under the California Environmental Quality Act (CEQA). The MND disclosed and analyzed the environmental impacts that would result from the full build out and operation of a 17-lot industrial subdivision, mitigating them to the maximum extent feasible. The planning commission adopted the MND and approved the major subdivision with no conditions on June 3, 2004. No appeal was filed. All required subdivision conditions were complied with and the Carneros Business Park subdivision map was recorded on March 11, 2005.

Our project North Bay Warehousing, LLC will be located on parcel 16 in the subdivision. We propose to construct a metal framed warehouse with highly insulated and textured exterior metal walls and roof utilizing colors that respect the agrarian surroundings and our agriculturally centric neighbors in the business park. The building will cover 82, 700-sf of the approved 85,310-sf allowed. Only four lots will remain after this building is constructed.

The intended use will be consistent with the MP Industrial Park District designation (section 26-44-010 Sonoma County Code of Ordinances) and appropriate and proportional impacts based on that approved use and previous approvals granted with the subdivision development. No outdoor equipment is proposed as part of the initial project. If a future tenant proposes outdoor equipment, that will be advised to submit appropriate permit applications for review and approval. This project will be subject to the requirements of a new mitigated negative declaration that will address any issues that may not have been known at the time of approval of the business park.

The most critical issue is water availability. In another recently approved development on the adjacent lot, a de minimis amount of water availability was granted, we expect the same for this project and as such are marketing this project to dry goods and or light manufacturing as approved uses in MP Industrial Park District County of Sonoma Zoning Code. We have and continue to pursue options for access to recycled water, rainwater catchment, and on-site treatment and reuse.

Thank you in advance for your consideration of this project proposal.

Regards,

Patrick Alcayaga

North Bay Warehousing, LLC

(707) 775-1000

Cc: Mr. Helge Bruckner, Managing Member Evergreen Warehousing

Mr. Brian Keefer, Ombudsman Permit Sonoma

File



8th Street



Carneros Business Park

**COUNTY OF SONOMA
DESIGN REVIEW COMMITTEE**

Conditions of Approval

Staff: Derik Michaelson
Applicant: Patrick Alcayaga
Owner: Sonoma Vintage Enterprises, Inc.
Address: 22045 Carneros Vineyard Way, Sonoma

Date: September 15, 2021
File No.: DRH21-0005
APN: 128-680-0016

Description: Design Review approval of a new 82,700 square-foot metal warehouse building to be served by a private well and public sewer on a 5.57-acre parcel in the Carneros Business Park, Lot 16.

Prior to commencing the use, evidence must be submitted to the file that all of the following non-operational conditions have been met.

BUILDING:

1. The applicant shall apply for and obtain building related permits from the Permit and Resource Management Department (Permit Sonoma). The necessary applications appear to be, but may not be limited to, site review, building permit, and grading permit.
2. Prior to initiation of the approved use, the project shall comply with the accessibility requirements set forth in the most recent California Building Code (CBC), as determined by the Permit Sonoma Building Division. Such accessibility requirements shall apply to all new construction and remodeling and, where required by the CBC, to retrofitting of the existing structure.
3. The business operator shall post a sign that includes the phone number for a current job manager for the benefit of neighbors. The job manager can be contacted if there are any problems associated with the construction process site such as dust, storm water runoff, hours of operation, equipment noise, traffic issues or lack of compliance with any project conditions of approval.

HEALTH:

"The conditions below have been satisfied BY _____ DATE _____

PRIOR TO BUILDING PERMIT ISSUANCE

4. Connection shall be made to public sewer. Prior to building permit issuance and vesting the Use Permit the applicant shall submit a "Will Serve Letter" for sewer to the Project Review Health Specialist to verify compliance, except for a connection to a County operated sewer system where clearance for the sewer will come from the Permit Sonoma Sanitation Section. Note that Will Serve Letters in contradiction of a moratorium by the appropriate regulating agency are not acceptable.

Applicant shall submit: A copy of the "Will Serve Letter" for water and sewer to the Project Review Health Specialist to verify compliance, except for a connection to a County operated sewer system where clearance for the sewer will come from the Permit Sonoma Sanitation Section.

5. Prior to building permit issuance and project operation, provide the Project Review Health Specialist with the bacteriological (E. Coli and total coliform) arsenic and nitrate analysis results of a sample of your water tested by a State-certified lab.

Applicant shall submit: A copy of the State Certified Lab report to the Project Review Health Specialist for review.

If the analysis shows contamination, the applicant will be required to treat the well per County

requirements and re-test the well. If the contamination cannot be cleared from the well, destruction under permit of this Department may be required. As an alternative to the well destruction, the applicant may initiate a permanent water treatment program subject to the following requirements prior to issuance of a building permit and/or commencement of project operation:

- a. A deed restriction running with the land and acceptable to Permit Sonoma and County Counsel notifying subsequent property owners that treatment of the water supply is required as a condition of this Use Permit in order to meet State and Federal MCL's and provide potable water to all plumbing fixtures.
- b. Proof of a contract with a qualified service provider shall be submitted for routine/diagnostic water testing, monitoring, maintenance, and record keeping of the water supply system. Initial water test results before and after the water treatment device shall be submitted to Permit Sonoma Project Review Health Specialist.

Copies of all laboratory results must be submitted to the Project Review Health Specialist.

6. Prior to the issuance of building permits the applicant shall apply for a water supply permit from the State Division of Drinking Water because more than 25 persons per day for 60 days within a year may be served by the water system. A copy of the Use Permit application and conditions must be provided to the State in Division of Drinking Water order to obtain appropriate raw water source sampling requirements. (This process should begin as soon as possible, as the application, plan check and sampling will take some time.)

Applicant shall submit: A copy of the Water Supply Permit Application response letter, or equivalent e-mail, from the Division of Drinking Water to the Permit Sonoma Project Review Health Specialist.

7. If a Water Supply Permit is required, then the water supply well is required to have a 50-foot annular seal prior to vesting the Use Permit. Annular seals are installed at the time of construction of the water well, and are very difficult (and sometimes impossible) to retro-fit in an economic manner. If documentation of a 50-foot annular seal cannot be obtained, then a new water well may be required.

Applicant shall submit: Documentation (a well completion log) of a 50 foot annular seal on the water well serving the project.

8. Prior to building permit issuance and vesting the Use Permit, proof of water availability must be submitted in accordance with Section 7-12 of the Sonoma County Code, Chapter 7. Provide an 8 to 12 hour yield test that indicates a minimum of one gallon per minute for each project activity such as each commercial facility, special events, and each tasting room, and for each residence, or second unit, conducted during the dry season (July 15 through October 1). (Testing procedures for 1-2 project activities = 8-12 hour test, 3-4 activities = 18-24 hour test, and 72 hour test for 5 or more activities).

Applicant shall submit: A final clearance from Permit Sonoma Well and Septic Section of the approved well yield test (during the dry weather test period) have been accepted and the results approved, to the Project Review Health Specialist.

9. Prior to building permit issuance, the applicant shall submit a design for trash enclosures and recycling areas for review and approval by the Permit Sonoma Building Plan Check Section. (Fees may apply.) Note that trash trucks must have at least a 34-foot turning radius at the trash enclosure and the dumpster must have 19 feet of overhead clearance at the location where the bins are tipped.

Applicant shall submit: A design for trash enclosures and recycling areas for review and approval

by the Permit Sonoma Building Plan Check Section. Provide the Building plan page and detail number for the trash enclosures to the Project Review Health Specialist.

PRIOR TO OCCUPANCY

10. Connection shall be made to public sewer. Prior to occupancy the applicant shall submit a "Will Serve Letter" to the Project Review Health Specialist to verify compliance.

11. Prior to occupancy, the applicant shall have completed the Water Supply Permit application process and have been granted a Water Supply Permit from the California State Water Resources Control Board, Division of Drinking Water.

Applicant shall submit: A copy of the Water Supply Permit or permit approval letter must be submitted to the Project Review Health Specialist, or the Office of Drinking Water/ Sonoma County Environmental Health may e-mail approval directly to Permit Sonoma.

12. Prior to building occupancy the applicant shall have the whole water supply system evaluated for potential contamination or pollution via backflow by an American Water Works Association certified Cross Connection Control Specialist. The recommendations for cross connection control shall, at a minimum, meet the requirements of the 2016 California Plumbing Code and subsequent editions adopted by Sonoma County.

Applicant shall submit: A copy of the Cross Connection Control Specialist's initial report to the Project Review Health Specialist for review.

13. Prior to occupancy, backflow prevention devices shall be installed on the water supply system as recommended, after concurrence with the hazard evaluation and recommendations for cross connection control report by PRMD.

Applicant shall submit: A letter from the Cross Connection Control Specialist to the Project Review Health Specialist stating that backflow prevention has been installed as recommended.

OPERATIONAL REQUIREMENTS:

14. Should a food facility, food retailer, inn or hotel, or high density housing occupy the facility approved with this permit in the future, the areas within the refuse enclosures shall drain to the sanitary sewer system or other appropriately permitted disposal facility. The outside perimeter of the trash enclosure shall be graded to prevent storm water from draining into the sanitary sewer system. The trash enclosure shall be covered with a roof or awning.

A copy of a design and drainage for trash enclosures and recycling areas shall be submitted to the Project Review Health Specialist for review and approval prior to building permit issuance or operation of the new use.

15. The property owner or lease holder shall have the backflow prevention assembly tested by an American Water Works Association certified Backflow Prevention Assembly Tester at the time of installation, repair, or relocation and at least on an annual schedule thereafter.

16. A safe, potable water supply shall be provided and maintained.

17. During construction, portable toilets and portable hand-washing facilities shall be placed and maintained for employees as needed on the drill sites, but in no case shall they be serviced less than once per three days when 24 hour operations are conducted, and once per seven days when only daytime operations are conducted. The permittee shall provide an accessible portable restroom on the job site where required by Federal, State or local law, including but not limited to,

requirements imposed under OSHA, the Americans with Disabilities Act or Fair Employment and Housing Act.

18. Noise shall be controlled in accordance with Table NE-2 (or an adjusted Table NE-2 with respect to ambient noise as described in General Plan 2020, Policy NE-1c,) as measured at the exterior property line of any affected residential or sensitive land use:

TABLE NE-2: Maximum Allowable Exterior Noise Exposures

Hourly Noise Metric ¹ , dBA	Daytime (7 a.m. to 10 p.m.)	Nighttime (10 p.m. to 7 a.m.)
L50 (30 minutes in any hour)	50	45
L25 (15 minutes in any hour)	55	50
L08 (4 minutes 48 seconds in any hour)	60	55
L02 (72 seconds in any hour)	65	60
¹ The sound level exceeded n% of the time in any hour. For example, the L50 is the value exceeded 50% of the time or 30 minutes in any hour; this is the median noise level. The L02 is the sound level exceeded 1 minute in any hour.		

19. If noise complaints are received from nearby residents, and they appear to be valid complaints in Permit Sonoma’s opinion, then the applicant shall conduct a Noise Study to determine if the current operations meet noise standards and identify any additional noise Mitigation Measures if necessary. A copy of the Noise Study shall be submitted to the Project Review Health Specialist within sixty days of notification from Permit Sonoma that a noise complaint has been received. The owner/operator shall implement any additional Mitigation Measures needed to meet noise standards.
20. All garbage and refuse on this site shall accumulate or be stored in non-absorbent, water-tight, vector resistant, durable, easily cleanable, galvanized metal or heavy plastic containers with tight fitting lids. No refuse container shall be filled beyond the capacity to completely close the lid. Garbage and refuse on this site shall accumulate or be stored for no more than seven calendar days, and shall be properly disposed of at a County Transfer Station or County Landfill before the end of the seventh day.
21. Smoking is prohibited in any public area, in any dining area, service area (including entry lines or ticket purchase lines) and in any enclosed area that is a place of employment (Sonoma County Code 32-6). “No Smoking” signs shall be conspicuously posted at the point of entry into every building where smoking is prohibited by Chapter 32 of the Sonoma County Code. The California Health and Safety Code (section 113978) also requires the posting of “No Smoking” signs in all food preparation areas, all retail food storage areas, and all food utensil washing areas. Note that Health and Safety Code section 113781 definition of food includes any beverage intended for human consumption.
22. A “Designated Smoking Area” may be established in unenclosed areas consistent with Sonoma County Code section 32-3. Designated Smoking Areas must be at least 25 feet away from any building or area where smoking is prohibited, must be conspicuously identified by signs as a smoking area, and shall be equipped with ash trays or ash cans.

SANITATION:

“The conditions below have been satisfied BY _____ DATE _____

23. Sonoma County Water Agency (Sonoma Water) operates Sonoma Valley County Sanitation District (District) under contract with District. References to District employees are understood to

be Sonoma Water employees acting on behalf of District.

24. Applicant shall obtain a Sonoma County Water Agency Survey for Commercial/Industrial Wastewater Discharge Requirements from the Sonoma County Permit and Resource Management Department (Permit Sonoma), and shall submit the completed Survey, along with two (2) copies of the project site plan, floor plan and plumbing plan to the Engineering Division of Permit Sonoma.

If additional sewer pre-treatment, separate process and domestic wastewater lines, and/or monitoring facilities are required by the Sonoma County Water Agency per this Survey, the Applicant shall comply with the requirements of the Survey prior to occupancy of the proposed retail shop. The issuance of building permits is contingent upon completion of the Survey.

25. The Applicant shall submit improvement plans to the Sanitation Section of Permit Sonoma for review and approval of the sanitary sewer design. Improvement plans shall be blue line or black line drawings on standard bond paper, 24 inch by 36 inch in size, and prepared by a licensed civil engineer registered in the State of California. Sanitary sewer facilities shall be designed and Improvement Plans prepared in accordance with SCWA Design and Construction Standards for Sanitation Facilities. The Applicant shall pay Plan Checking fees to the Sanitation Section of Permit Sonoma prior to the start of Improvement Plan Review.

Please note that review of the sanitary sewer design is a separate review from that of the buildings, drainage and frontage improvements, and shall be performed by the Sanitation Section of the Permit and Resource Management Department under a separate permit.

26. The Applicant shall construct a Sampling Manhole with dual waste lines for discharge of domestic and “process” wastewater from the proposed warehouse. The Sampling manhole shall be constructed in accordance with Sonoma County Water Agency (SCWA) Design and Construction Standards for Sanitation Facilities, and shall be constructed under a separate permit issued by the Engineering Division of Permit Sonoma.

Further division of the proposed warehouse into tenant space producing “process” waste, as defined in the SCWA Sanitation Code shall require installation of additional sampling manholes for the subject tenant spaces, constructed in accordance with sanitation district standards.

27. The existing 1.00 Equivalent Single-family Dwelling billing units (ESD) prior to final and temporary occupancy of the warehouse permit, and foundation only permit. No less than 1.00 ESD shall be assessed on the parcel prior to the permit for a warehouse shell building, and foundation only permit, without tenant is finalized, or temporary occupancy is allowed.
28. Sewer Use Fees for sewer service shall be calculated at the prevailing Sewer Connection and Annual Sewer Service Charge rates in effect at the time of sewer permit issuance.
29. All Sewer Fees per Sonoma Valley County Sanitation District Ordinances (latest revision) shall be paid to the Sanitation Section of the Sonoma County Permit and Resource Management Department (Permit Sonoma) prior to temporary occupancy, or occupancy of the proposed warehouse.

NATURAL RESOURCES:

“The conditions below have been satisfied BY _____ DATE _____

30. Permit Sonoma Annual Well Monitoring Fee. Prior to building permit final, the applicant/operator shall submit to Permit Sonoma an Annual Well Monitoring fee of \$224.00 (or other amount consistent with the adopted fee schedule in effect at the time). The applicant/operator shall be responsible for payment of additional annual well monitoring fees for each year over the effective term of the permit. The annual well monitoring fee shall be paid by January 31 of each year the

permitted operation is active.

PRIOR TO BUILDING PERMIT ISSUANCE

31. An Easement is required to be recorded for this project to provide Sonoma County personnel access to any on-site water well or other water source serving this project and any required monitoring well or water meter to collect groundwater level measurements and water meter readings. Access shall be granted Monday through Friday from 8:00 a.m. to 5:00 p.m. All Easement language is subject to review and approval by Permit Sonoma Project Review staff and County Counsel prior to recordation.
32. A Water Conservation Plan shall be submitted for all buildings and landscaping prior to building permit issuance, subject to Permit Sonoma review and approval. The Water Conservation Plan must detail project water use and shall include all reasonably feasible measures to reduce water demand to the maximum extent feasible. Measures that must be evaluated include: installation of ultra low-flow fixtures, best available conservation technologies for all water uses, including but not limited to, rainwater and stormwater collection systems, process/graywater reuse, or support for water conservation or enhanced groundwater recharge in the local area. If estimated onsite groundwater use is greater than 0.5 acre feet per year, the Water Conservation Plan must detail, or commit to provide a fair share contribution towards, a project to offset groundwater use in the local area that will result in a de minimus increase in net groundwater use of 0.5 ac-ft/year or less.

PRIOR TO OCCUPANCY

33. Water well(s) serving this project shall be equipped to enable regular groundwater level monitoring, subject to approval by Permit Sonoma Professional Geologist or Environmental Health Specialist.
34. Totalizing water meter(s) to measure all groundwater extracted for the use shall be installed, subject to approval by Permit Sonoma Professional Geologist or Environmental Health Specialist.
35. A Site Plan showing the location of the well(s) with the groundwater level measuring device(s), water storage ponds, tanks, and reservoirs, and the location of all water meter(s) shall be submitted to Permit Sonoma. The monitoring well(s) shall be marked with a measuring reference point. The well's Global Positioning System (GPS) coordinates (in NAD83 California State Plane II or WGS 84lat./long.) shall be noted. The height of the water level measuring reference point above the ground surface shall be specified. Attached to the Site Plan should be the monitoring well(s) well completion reports (with owner information redacted, as is publicly available through California DWR).
36. All water conservation measures and equipment described in the Water Conservation Plan, including any offsite projects, shall be inspected and found to be consistent with the Water Conservation Plan prior to Building Permit Final Occupancy.
37. All landscaping and irrigation shall be installed according to the plans approved by this Design Review permit and in accordance with the Water Efficient Landscape Ordinance. Verification of installation from the landscape architect or qualified irrigation specialist is required.

OPERATIONAL REQUIREMENTS

38. All water conservation measures described in the most recent approved Water Conservation Plan shall be implemented and maintained. Alternative methods or technology of equal or better water efficiency may be used or installed with update and approval of the Water Conservation Plan. Water efficient cleaning and sanitation equipment shall be maintained in good working order. If replaced, equipment of equivalent or better water use efficiency shall be installed.
39. Groundwater Monitoring and Meter Calibration

- a. Groundwater levels and quantities of groundwater extracted for the use shall be measured quarterly. Data shall be reported to Permit Sonoma in January of the following year pursuant to Section WR-2d of the Sonoma County General Plan and County policies. Data should be provided on template monitoring forms provided by Permit Sonoma.
 - b. Water meters shall be calibrated, and copies of receipts and correction factors shall be submitted to Permit Sonoma at least once every five years.
40. Maximum Groundwater Use is equal to 0.5 acre feet per year plus groundwater offsets described in the approved Water Conservation Plan. Groundwater use on the parcel, inclusive of landscaping and water features, shall not exceed the Maximum Groundwater Use. In the event that average water use over 3 years exceeds the Maximum Groundwater Use, the applicant shall update the Water Conservation Plan to reduce net groundwater use, subject to review and approval by Permit Sonoma. In the event that average water use over 3 years exceeds the Maximum Groundwater Use by more than 0.1 acre feet or more, Permit Sonoma shall bring this matter before to the Board of Zoning Adjustment for review of additional measures to reduce net groundwater use.
41. Water quality samples from each well shall be tested by a State-certified lab annually. Water samples shall be extracted in the months of September or October and reported to Permit Sonoma no later than January of the following year pursuant to Section WR-2d of the Sonoma County General Plan and County policies. Water quality parameters to be tested shall include Total Dissolved Solids, Electrical Conductivity, Chloride, Iodide and Boron. Analytical detection limit for Iodide shall be 0.001 mg/L or less. Analytical detection limit for Boron shall be 5 ug/L or less. Annual monitoring fees shall be paid at the rate specified in the County Fee Ordinance. If the County determines that groundwater quality is declining, then the applicant shall submit and implement a Water Conservation Plan, subject to review and approval by Permit Sonoma.
42. The project shall comply with all applicable regulations, monitoring, and fees associated with the Groundwater Sustainability Agency as applicable to the project site.

GRADING AND STORM WATER:

“The conditions below have been satisfied BY _____ DATE _____

43. Grading and/or building permits require review and approval by the Grading & Storm Water Section of the Permit and Resource Management Department (Permit Sonoma) prior to issuance. Grading permit applications shall abide by all applicable standards and provisions of the Sonoma County Code and all other relevant laws and regulations.
44. A drainage report for the proposed project shall be prepared by a civil engineer, currently registered in the State of California, be submitted with the grading and/or building permit application and be subject to review and approval by the Grading & Storm Water Section of the Permit and Resource Management Department (Permit Sonoma) . The drainage report shall include, at a minimum, a project narrative, on- and off-site hydrology maps, hydrologic calculations, hydraulic calculations, pre- and post-development analysis for all relevant existing and proposed drainage facilities. The drainage report shall abide by and contain all applicable items in the Drainage Report Required Contents (DRN-006) handout.
45. Drainage improvements shall be designed by a civil engineer, currently registered in the State of California, and in accordance with the Sonoma County Water Agency Flood Control Design Criteria and the hydrology study of the Schell/Nathanson Watershed and the Carneros Business Park subdivision (PLP99-0035) drainage design. Drainage improvements shall be shown on the grading/site plans and be submitted to the Grading & Storm Water Section of the Permit and Resource Management Department (Permit Sonoma) for review and approval. Drainage improvements shall maintain off-site natural drainage patterns, limit post-development storm water quantities and pollutant discharges in compliance with Permit and Resource Management

Department's best management practices guide, and shall abide by all applicable standards and provisions of the Sonoma County Code and all other relevant laws and regulations. Existing drainage patterns shall be maintained, to the maximum extent practicable, to not adversely impact adjacent properties or drainage systems. Proposed drainage improvements shall not adversely impact adjacent properties or drainage systems.

46. The applicant shall provide grading plans, prepared by a civil engineer currently registered in the State of California, which clearly indicate the nature and extent of the work proposed and include all existing and proposed land features, elevations, roads, driveways, buildings, limits of grading, limits of disturbed area/total work, adequate grading cross sections and drainage facilities such as swales, channels, closed conduits, or drainage structures. The grading plans shall abide by and contain all applicable items from the Grading Permit Required Application Contents (GRD-004) handout.
47. As part of the grading plans, the applicant shall include an erosion prevention/sediment control plan which clearly shows best management practices to be implemented, limits of disturbed areas/total work, vegetated areas to be preserved, pertinent details, notes, and specifications to prevent damages or minimize adverse impacts to the surrounding properties and the environment. Tracking of soil or construction debris into the public right-of-way shall be prohibited. Runoff containing concrete waste or by-products shall not be allowed to drain to the storm drain system, waterway(s), or adjacent lands. The erosion prevention/sediment control plan shall abide by and contain all applicable items in the Grading Permit Required Application Contents (GRD-004) handout.
48. Residue or polluted runoff from any proposed crush pads or from production areas/activities shall not be allowed to drain directly to the storm drain system, waterway(s) or adjacent lands. Crush pads and production areas shall be covered or drain directly to a proper waste disposal system. No diversion valves shall be allowed.
49. Runoff from waste receptacles or outside washing areas shall not be allowed to drain directly to the storm drain system, waterway(s) or adjacent lands. Areas used for waste receptacles and outside washing areas shall be covered or separated from the rest of the project site by grade breaks that prevent storm water run-on. Any surface water flow from a waste receptacle or outside washing area shall not be permitted to enter the storm drain system without receiving appropriate treatment.
50. Grading and land disturbance shall be setback from streams a minimum of 25 feet from the top of stream bank.
51. Any waterway setbacks, including but not limited to building setbacks, grading setbacks, or riparian corridor setbacks, shall be clearly shown and noted on the grading/site plans.
52. A waterway setback analysis shall be prepared to determine the most stringent composite waterway setback, be submitted with the grading and/or building permit application and be subject to review and approval by the Grading & Storm Water Section of the Permit and Resource Management Department. The waterway setback analysis shall include several cross sections of Vineburg Creek. At a minimum, building, grading, riparian corridor, and floodway limits setbacks shall be included in the waterway setback analysis. The most stringent composite waterway setback shall be clearly shown and noted on the grading/site plans.
53. Before construction may begin near a waterway or environmentally sensitive area, a protective construction fence shall be placed in such a manner to allow the proposed development while preventing land disturbance adjacent to the waterway or environmentally sensitive area. The protective construction fence shall be shown and noted on the grading/site plans.
54. Drainage easements are required when conveying storm water runoff through any neighboring properties. Drainage easements shall be clearly shown and noted on the grading/site plans. The

applicant shall be responsible for obtaining or creating drainage easements as necessary for the proposed project prior to grading or building permit issuance. Any proposed drainage easements shall be private easements unless otherwise approved by the Department of Transportation and Public Works.

55. Construction within Sonoma County Water Agency (SCWA) property, right-of-way, or easement requires a revocable license from SCWA. The following note shall be placed prominently on the grading plans: "The contractor shall obtain a revocable license from the Sonoma County Water Agency (SCWA) prior to the start of any construction activities within SCWA property, right-of-way or easement." A letter of approval from SCWA shall be provided to the Grading & Storm Water Section of the Permit and Resource Management Department prior to issuance of any permit allowing work to occur near or within SCWA property, right-of-way, or easement.
56. If the cumulative land disturbance of the project is equal to or greater than one (1) acre, then the project is subject to National Pollutant Discharge Elimination System (NPDES) requirements and must obtain coverage under the State Water Resource Control Board's General Construction Permit (General Permit). Documentation of coverage under the General Permit must be submitted to the Grading & Storm Water Section of the Permit and Resource Management Department prior to issuance of any grading permit for the proposed project.
57. The applicant is responsible to contact the San Francisco Bay Regional Water Quality Control Board and obtain any necessary permits or waivers for proposed work in or near a waterway. The applicant shall provide said documentation to the Grading & Storm Water Section of the Permit and Resource Management Department prior to issuance of any permit for work within 25 feet of a waterway.
58. The applicant is responsible to contact the California Department of Fish & Wildlife and obtain any necessary permits or waivers for proposed work in or near a waterway. The applicant shall provide said documentation to the Grading & Storm Water Section of the Permit and Resource Management Department prior to issuance of any permit work within 25 feet of a waterway.
59. The applicant is responsible to contact the U.S. Army Corps of Engineers and obtain any necessary permits or waivers for proposed work in or near a wetland or navigable waters. The applicant shall provide said documentation to the Grading & Storm Water Section of the Permit and Resource Management Department prior to issuance of any permit for work within 25 feet of a wetland or navigable waters.

TRANSPORTATION AND PUBLIC WORKS:

"The conditions below have been satisfied BY _____ DATE _____

60. The Applicant shall pay Traffic Mitigation fees to the County of Sonoma, as required by Section 26, Article 98 of the Sonoma County Code, prior to issuance of a building permit for any new building. Evidence of payment shall be submitted to the Land Development Section of the Permit and Resource Management Department prior to clearance of these conditions.
61. Prior to issuance of building permits, the developer shall pay to the Sonoma County Department of Transportation and Public Works a fair share of the cost of the future signalization of the Eighth Street East / Highway 121, and Highway 116 / Highway 121 intersections. Per the Certificate of Modification recorded as Document No. 2007130284 Official Records of Sonoma County Records, the fair share for the off-site improvements is based on \$1.54 per square foot of approved building.

FIRE AND EMERGENCY SERVICES:

"The conditions below have been satisfied BY _____ DATE _____

62. Development on this parcel is subject to the Sonoma County Fire Safe Standards and shall be reviewed and approved by the County Fire Marshal/Local Fire Protection District. Said plan shall include, but not be limited to: emergency vehicle access and turn-around at the building sites), addressing, water storage for fire fighting and fire break maintenance around all structures. Prior to occupancy, written approval that the required improvements have been installed shall be provided to Permit Sonoma from the County Fire Marshal/Local Fire Protection District/
63. Permitting or development approval is subject to the Sonoma County Fire Safety Ordinance (Sonoma County Code). All applications for development approvals must be approved by the Sonoma County Fire Marshal, and shall be accompanied by: plans, engineering calculations, and other data necessary to determine compliance with the provisions of the codes, and shall be in compliance with the following conditions:
(Ref. California Code of Regulations Title-14, Division 1.5, Chapter 7, Subchapter 2, Articles 1 – 5, & Sonoma County Code Chapter 13, Article IV, Section 13-17 & Sonoma County Code Chapter 13, Article V, Division A, Section 13-24)
- a. Provide fire apparatus access roads to within 150 ft of all portions of the first floor exterior walls. Verify CFC Sec. 503.1.1.
 - b. Clarify if this building will contain high-piled combustible storage. If so demonstrate compliance with CFC Chapter 32. Verify the commodity classification, maximum storage height, type of storage (solid piled, shelf storage, palletized storage), aisle width and locations, fire department access roads to within 150 ft of all portions of the exterior walls, fire department exterior access doors for each 100 linear ft that face fire apparatus access roads, if required, etc.
 - c. Where building occupancy is undetermined automatic sprinkler systems shall be designed for a minimum density of 0.33 gpm/ft² over 3,000 sq. ft. CFC Sec. 903.2.11.7.
 - d. If roof height is greater than 30 ft provide aerial fire apparatus access roads. CFC Sec. D105.
64. The subject property (or properties) must be in full compliance with Building Code regulations, Fire Code Regulations and Hazardous Materials regulations prior to occupancy of the buildings and use of the property without written approval by the fire code official.
- a. A fire inspection shall be conducted by the Sonoma County Fire Prevention Division to determine if the subject property (or properties) is currently in full compliance with applicable Building Code regulations, Fire Code Regulations and Hazardous Materials regulations.
 - b. The Sonoma County Fire Prevention Division may charge and collect a fee for the inspection in an amount, as determined by the county, sufficient to pay its costs of that inspection.
 - c. The Building shall be fire sprinklered and contain a fire alarm system consistence with the occupancy type. Existing sprinklered or non-sprinklered buildings shall be verified based on design to be in compliance with specific occupancy type.
65. Applicable Fire Code operational permits shall be obtained prior to the initiation of any activity where an operational permit is required by the California Fire Code as adopted and amended by Sonoma County Code.
- a. Fire protection systems
 - b. Flammable and combustible liquids
 - c. Hazardous material: storing, transporting on site, dispensing, using or handling hazardous materials
 - d. High-piled storage exceeding 500 square feet
 - e. LP-gas Storage and use over 500 gallons water capacity and Operation of cargo tankers that transport LP-gas
 - f. Private fire hydrant: service, use or operation
 - g. Emergency responder radio coverage
66. Operational Permit. The county or fire district which inspects the facility may charge and collect a fee for the inspection from the owner of the facility in an amount, as determined by the county or

fire district, sufficient to pay its costs of that inspection.

67. The facility operator shall develop an emergency response plan consistent with Chapter 4 of the 2013 California Fire Code as adopted and amended by Sonoma County Code. Fire safety plans, emergency procedures, and employee training programs shall be approved by the fire code official.
68. To facilitate locating an emergency and to avoid delays in response; all existing and newly constructed or approved roadways and buildings whether public or private shall provide for safe access for emergency fire apparatus and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during an emergency, and shall be constructed and maintained as required by Sonoma County Fire Safe Standards and the California Fire Code, as adopted and amended by Sonoma County Code.
69. Emergency water supply for fire protection shall be available and accessible in locations, quantities and delivery rates as specified in the California Fire Code as adopted and amended by Sonoma County Code.
 - a. Fire hydrants shall be installed as required by the California Fire Code as adopted and amended by Sonoma County Code.
 - b. Emergency water supply for fire suppression may be provided in a naturally occurring or manmade containment structure for projects not served by a municipal water system, as long as the specified quantity and delivery rate is immediately provided.
70. Project is located in a Local Responsibility Area (LRA). Comply with the general defensible space clearances per CCR Title 19 Div. 1, Chapter 1, Subchapter 1 §3.07.
71. Prior to occupancy, written approval that the required improvements have been installed shall be provided to Permit Sonoma from the County Fire Marshal/Local Fire Protection District.

PLANNING:

"The conditions below have been satisfied BY _____ DATE _____

FEES

72. This "At Cost" entitlement is not vested until all permit processing costs and development fees are paid in full. Additionally, no grading or building permits shall be issued until all permit processing costs and development fees are paid in full.
73. At the time of submitting a building permit application, the applicant shall submit to Permit Sonoma a Condition Compliance Review fee deposit (amount to be determined consistent with the ordinance in effect at the time). In addition, the applicant shall be responsible for payment of any additional compliance review fees that exceed the initial deposit (based upon hours of staff time worked) prior to final inspection being granted.
74. Construction of new or expanded non-residential development on each lot shall be subject to Workforce Housing Requirements pursuant to 26-89-045 of the Sonoma County Code.

PRIOR TO BUILDING PERMIT ISSUANCE

75. The site is within the Sideline Safety Zone (SSZ) for the Sonoma Skypark Airport. The Sonoma County Comprehensive Airport Land Use Plan limits population density to 60 persons per acre. Prior to issuance of a building permit, the applicant shall enter into an Avigation Easement with the County of Sonoma or submit proof that such an easement already exists onsite.
76. The applicant shall include these Conditions of Approval on separate sheets of plan sets to be

submitted for building and grading permit applications.

77. All easements shall be shown on the working drawings (grading, utility and building permit plans).

78. All building and/or grading permits involving ground disturbance shall have the following note printed on plan sheets:

- a. "In the event that archaeological resources such as pottery, arrowheads, midden or culturally modified soil deposits are discovered at any time during grading, scraping or excavation within the property, all work shall be halted in the vicinity of the find and Permit Sonoma Project Review staff shall be notified and a qualified archaeologist shall be contacted immediately to make an evaluation of the find and report to Permit Sonoma. Permit Sonoma staff may consult and/or notify the appropriate tribal representative from tribes known to Permit Sonoma to have interests in the area. Artifacts associated with prehistoric sites include humanly modified stone, shell, bone or other cultural materials such as charcoal, ash and burned rock indicative of food procurement or processing activities. Prehistoric domestic resources include hearths, firepits, or house floor depressions whereas typical mortuary resources are represented by human skeletal remains. Historic artifacts potentially include all by-products of human land use greater than fifty (50) years of age including trash pits older than fifty (50) years of age. When contacted, a member of Permit Sonoma Project Review staff and the archaeologist shall visit the site to determine the extent of the resources and to develop and coordinate proper protection/mitigation measures required for the discovery. Permit Sonoma may refer the mitigation/protection plan to designated tribal representatives for review and comment. No work shall commence until a protection/mitigation plan is reviewed and approved by Permit Sonoma - Project Review staff. Mitigations may include avoidance, removal, preservation and/or recordation in accordance with California law. Archeological evaluation and mitigation shall be at the applicant's sole expense.

"If human remains are encountered, all work must stop in the immediate vicinity of the discovered remains and Permit Sonoma staff, County Coroner and a qualified archaeologist must be notified immediately so that an evaluation can be performed. If the remains are deemed to be Native American, the Native American Heritage Commission must be contacted by the Coroner so that a "Most Likely Descendant" can be designated and the appropriate provisions of the California Government Code and California Public Resources Code will be followed."

Building/grading permits shall not be approved for issuance by Project Review staff until the above notes are printed on the building, grading and improvement plans.

79. The following dust control measures shall be implemented and printed on all permit drawings:

- a. Water or alternative dust control method shall be sprayed to control dust on construction areas, soil stockpiles, and staging areas during construction as directed by the County.
- b. Trucks hauling soil, sand and other loose materials over public roads will cover the loads, or will keep the loads at least two feet below the level of the sides of the container, or will wet the load sufficiently to prevent dust emissions.
- c. Paved roads will be swept as needed to remove soil that has been carried onto them from the project site.

80. The following BAAQMD BMPs shall be implemented and printed on all permit drawings:

- a. Water all exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) two times per day during construction and adequately wet demolition surfaces to limit visible dust emissions.
- b. Cover all haul trucks transporting soil, sand, or other loose materials off the project site.
- c. Use wet power vacuum street sweepers at least once per day to remove all visible mud or dirt track-out onto adjacent roads (dry power sweeping is prohibited) during construction of the proposed project.

- d. Vehicle speeds on unpaved roads/areas shall not exceed 15 miles per hour.
 - e. Complete all areas to be paved as soon as possible and lay building pads as soon as possible after grading unless seeding or soil binders are used.
 - f. Minimize idling time of diesel-powered construction equipment to five minutes and post signs reminding workers of this idling restriction at all access points and equipment staging areas during construction of the proposed project.
 - g. Maintain and properly tune all construction equipment in accordance with manufacturer's specifications and have a CARB-certified visible emissions evaluator check equipment prior to use at the site.
 - h. Post a publicly visible sign with the name and telephone number of the construction contractor and County staff person to contact regarding dust complaints. This person shall respond and take corrective action within 48 hours. The publicly visible sign shall also include the contact phone number for the BAAQMD to ensure compliance with applicable regulations.
81. All grading and development on site shall be done in compliance with the County Tree Protection Ordinance, including protection of trees during construction with a chain link fence at the drip-line, and replacement of damaged or removed trees. The project's grading and landscape plans shall detail all tree protection implementation measures. Permit Sonoma shall not sign off the grading or building permit for issuance until the project grading and landscape construction documents clearly show all tree protection measures (as required in the County Tree Protection Ordinance). Permit Sonoma shall not sign off the grading or building permit for occupancy until a site inspection has been conducted, and the applicant has provided written verification from the project's landscape architect or contractor, that the tree protection measures were complied with.
82. All new structures, lighting and signs shall require final design review by Permit Sonoma prior to issuance of building permits. All exterior finishes shall be of non-reflective materials and colors.
83. Prior to issuance of building permits, an exterior lighting plan shall be submitted for design review Permit Sonoma Project Review staff. Exterior lighting shall be low mounted, downward casting and fully shielded to prevent glare. Lighting shall not wash out structures or any portions of the site. Light fixtures shall not be located at the periphery of the property and shall not spill over onto adjacent properties or into the night sky. Flood lights are not permitted. All parking lot and street lights shall be full cut-off fixtures. Lighting shall shut off automatically after closing and security lighting shall be motion sensor activated.
- Parking lot fixtures shall not exceed 20 feet in height. All parking lot and/or street light fixtures shall use full cut-off fixtures. All exterior fixtures shall be limited to lamps (light bulbs not exceeding 100 watts.)
84. Additional measures for lighting impacts include: Lighting plans shall be designed to meet the Lighting Zone (LZ1 for dark areas, LZ2 for rural, LZ3 for urban) standards from Title 24 effective October 2005.
85. The undergrounding of new utilities is required.

OPERATIONAL

86. The applicant/owner shall be required to maintain in good condition all street frontage improvements along the property to the face of curb, including any landscape areas, sidewalks, or surface drainage contained within the public right-of-way. Landscape plans shall be subject to Design Review approval prior to issuance of grading or building permits. Landscaping shall consist of a mixture of trees, shrubs and groundcover in accordance with an approved landscape plan. All landscaping shall be automatically irrigated with primary irrigation lines and equipment located on private property. An Encroachment Permit and/or a Maintenance Agreement with the County shall be required prior to issuance of grading or building permits.

87. The applicant shall maintain a minimum of 20 parking spaces onsite to serve the 40,000 square feet of approved warehouse space. Parking lot surfaces, lighting and exterior landscaping shall be maintained in good condition in compliance with the approved plans and conditions herein.
88. Customer and Site Visitor Management. The operator of the establishment shall take all reasonable steps, including contacting law enforcement in a timely manner, to prevent customers or other persons from engaging in objectionable activities on the premises, parking areas under the control of the operator, and other public or quasi-public areas within site of the premises during business hours.
89. Trash, Litter, and Graffiti:
- At least twice a week, the operator of the establishment shall remove trash, litter, and debris from the sidewalks adjoining the premises plus 10 feet beyond property lines as well as any parking lots under the control of the operator.
 - The operator of the establishment shall remove all graffiti from the premises and parking lots under the control of the operator within 72 hours of its application.
 - Trash can only be disposed in exterior dumpsters between the hours of 8:00 a.m. and 8:00 p.m.
90. This use shall be constructed, maintained, and operated in conformance with all applicable county, state, and federal statutes, ordinances, rules, and regulations. A violation of any applicable statute, ordinance, rule or regulation shall be a violation of the Permit, subject to revocation or modification.
91. Any proposed modification, alteration, and/or expansion of the use authorized by this Permit shall require the prior review and approval of Permit Sonoma or the Board of Zoning Adjustments, as appropriate. Such changes may require a new or modified Use Permit and additional environmental review.
92. The Director of Permit Sonoma is hereby authorized to modify these conditions for minor adjustments to respond to unforeseen field constraints provided that the goals of these conditions can be safely achieved in some other manner. The applicant must submit a written request to Permit Sonoma demonstrating that the conditions is infeasible due to specific constraints (e.g. lack of property rights) and shall include a proposed alternative measure or option to meet the goal or purpose of the condition. PERMIT SONOMA shall consult with affected departments and agencies and may require an application for modification of the approved permit. Changes to conditions that may be authorized by PRMD are limited to those items that are not adopted standards or were not adopted as mitigation measures or that were not at issue during the public hearing process. Any modification of the permit conditions shall be documented with an approval letter from PRMD, and shall not affect the original permit approval date or the term for expiration of the permit.
- The owner/operator and all successors in interest, shall comply with all applicable provisions of the Sonoma County Code and all other applicable local, state and federal regulations.
93. This permit shall be subject to revocation or modification by the Board of Zoning Adjustments if: (a) the Board finds that there has been noncompliance with any of the conditions or (b) the Board finds that the use for which this permit is hereby granted constitutes a nuisance. Any such revocation shall be preceded by a public hearing noticed and heard pursuant to Section 26-92-120 and 26-92-140 of the Sonoma County Code.

In any case where a Use Permit has not been used within two (2) years after the date of the granting thereof, or for such additional period as may be specified in the permit, such permit shall become automatically void and of no further effect, provided however, that upon written request by the applicant prior to the expiration of the two year period the permit approval may be extended for not more than one (1) year by the authority which granted the original permit pursuant to Section 26-92-130 of the Sonoma County Code.



September 15, 2021

Sonoma Vintage Enterprises, Inc.
Attn: Patrick Alcayaga
PO Box 1344
Sonoma, CA 95476

SENT VIA EMAIL

Re: File No.: DRH21-0005
Site Address: 22045 Carneros Vineyard Way, Sonoma
APN: 128-680-016

This letter is in reference to your request for Design Review for a new 82,700 square-foot metal warehouse building to be served by a private well and public sewer on a 5.57-acre parcel, Lot 7 of the Carneros Business Park (Bk. 673, pg. 44). The Design Review Committee delegated final review and administrative approval by staff during preliminary review at the Committee's September 15, 2021 public hearing. Based on the findings below and subject to the enclosed conditions of approval, the project is hereby approved.

This Design Review is approved for the use as described in the project proposal, site plan, and application materials on file with Permit Sonoma, presented to the Design Review Committee, and as modified by the Conditions of Approval. Any modifications, expansion, or alterations of the property or use must be submitted for review and approval prior to implementation, and may, at the discretion of the department, require a new Design Review permit.

This approval is based on the following findings:

- A. The project is consistent with the General Plan land use designation of Limited Industrial and policies for development in the Sonoma Valley Planning Area in that the site is served by the Sonoma Valley County Sanitation District, ground water use associated with warehousing is limited, estimated water demand would not have adverse impacts such as saltwater intrusion, and adequate circulation and infrastructure will be provided through project specific improvements and the payment of County wide traffic mitigation fees and fair share traffic mitigation fees to fund needed local circulation improvements.
- B. The parcel is zoned MP (Industrial Park), which allows for warehousing under Sec. 26-44-010(f) of the Zoning Code subject to design review. The project complies with development standards of the MP zoning district including but not limited to building setbacks, building height, and lot coverage.
- C. The design, location, size, and operating characteristics of the use will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the neighborhood of such use, nor be detrimental or injurious to property and improvements in the neighborhood or the general welfare of the area. The project is compatible with other light industrial uses in the business park because the proposed warehouse is of similar design and operations. The project is compatible with nearby agricultural and residential uses in the area because it provides landscape screening and dark-sky friendly lighting. The project will not affect the Sonoma Skypark Airport because it complies with the population density limitations and other requirements for the Sideline Safety Zone as outlined in the Sonoma County Comprehensive Airport Land Use Plan.
- D. Permit Sonoma has determined that the project is consistent with the Mitigated Negative Declaration adopted for the Carneros Business Park on February 13, 2002, State Clearinghouse Number 2001032067, because the project will not have a significant impact to groundwater, and the uses associated with the establishment of the warehouse are within the expected intensity levels



File No. DRH21-0005

Approval Letter

September 15, 2015

Page 2

analyzed by the environmental document. The previously adopted mitigation plan is still in effect, and is the guiding document for development in the park.

This approval can be appealed in writing, along with an appeal fee, within 10 calendar days of the date of this letter. If you have any questions, please contact me at derik.michaelsonr@Sonoma-County.org or by phone at (707) 565-3095. Please refer to the file number (DRH21-0005) and site address when making inquiries.

Sincerely,

Derik Michaelson
Project Planner

Enclosures: Conditions of Approval, September 15, 2021

c: File No.: DRH21-0005
Tennis Wick, Director
Scott Orr, Deputy Director of Planning

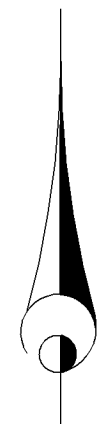
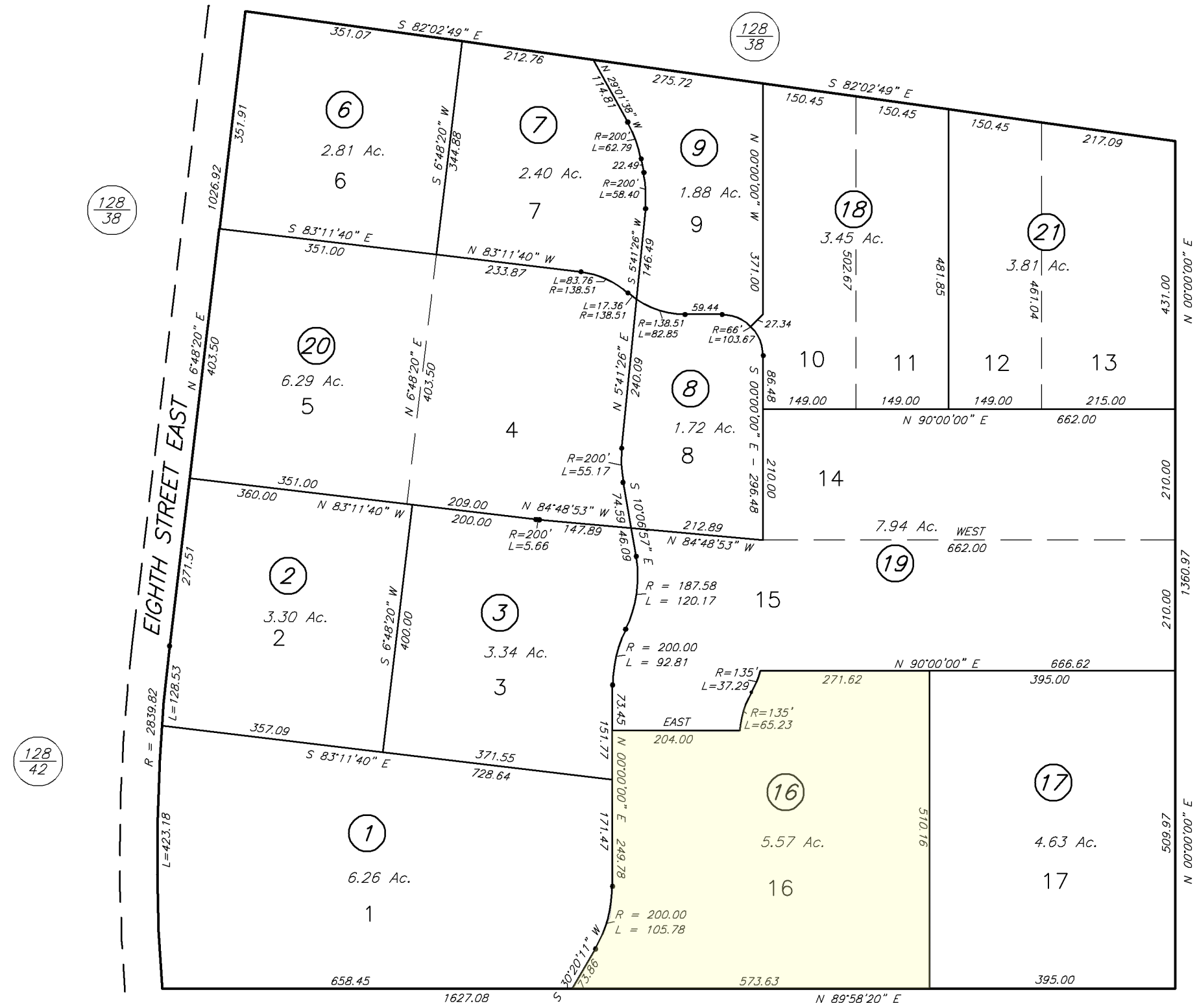
COUNTY ASSESSOR'S PARCEL MAP

TAX RATE AREA
158-035

128-68

THE CARNEROS BUSINESS PARK

REC. 03-11-05 IN BK. 673, MAPS, PGS. 36-44

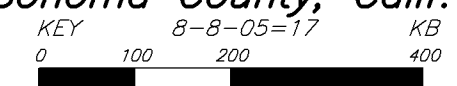


SCALE: 1" = 200'

REVISED
12-19-07=18-BC
07-16-15=19-BC
04-24-18=20-DL
04-29-21=21-BC

NOTE: This map was prepared for the Sonoma County Assessor for assessment purposes only and does not indicate parcel legality or a valid building sites. To verify legal parcel status check with your city or county development or planning division. No liability is assumed for the accuracy of the data delineated.

Assessor's Map Bk. 128, Pg. 68
Sonoma County, Calif. (ACAD)



673
37

LOT BOUNDARY LINE & CURVE DATA

NUM	DISTANCE	BEARING	NUM	DELTA	ARC	RADIUS
BL1	22.49'	S11°02'26"E	BC1	17°59'11"	62.79'	200.00'
BL2	146.49'	S5°41'26"W	BC2	16°43'52"	58.40'	200.00'
BL3	59.44'	S9°00'00"E	BC3	34°38'56"	83.76'	138.51'
BL4	27.34'	N45°00'00"E	BC4	7°10'54"	17.36'	138.51'
BL5	86.48'	N0°00'00"W	BC5	34°16'22"	82.85'	138.51'
BL6	74.59'	S10°06'57"E	BC6	45°00'00"	51.84'	66.00'
BL7	46.09'	S10°06'57"E	BC7	45°00'00"	51.84'	66.00'
BL8	73.45'	S0°00'00"E	BC8	90°00'00"	103.67'	66.00'
BL9	78.32'	S0°00'00"E	BC9	15°48'22"	55.17'	200.00'
BL10	73.86'	S30°20'11"W	BC10	36°42'12"	120.17'	187.58'
			BC11	26°35'16"	92.81'	200.00'
			BC12	27°41'00"	65.23'	135.00'
			BC13	15°49'33"	37.29'	135.00'
			BC14	30°18'10"	105.78'	200.00'

PROPERTY CORNER OFFSET DATA

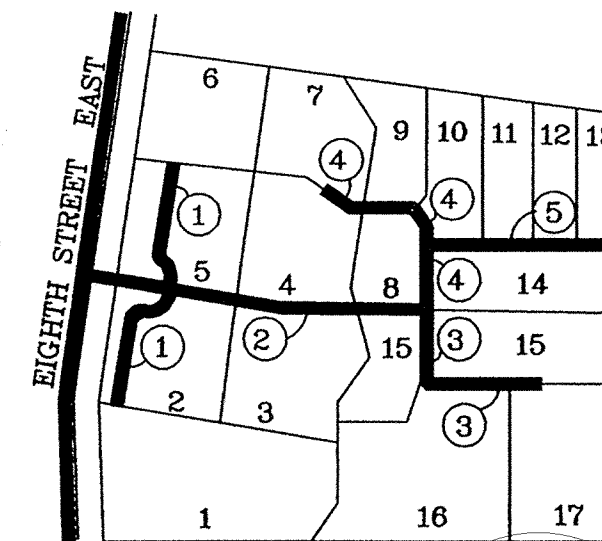
NUM	DISTANCE	BEARING
OSL1	30.00'	N89°58'20"E (R)
OSL2	20.00'	N59°39'49"W (R)
OSL3	20.00'	N90°00'00"W (R)
OSL4	20.14'	S83°11'40"E (R)
OSL5	20.00'	N90°00'00"E (R)
OSL6	20.00'	N90°00'00"E (R)
OSL7	20.00'	S63°24'44"E (R)
OSL8	20.00'	N79°53'03"E (R)
OSL9	20.00'	N79°04'38"E (R)
OSL10	20.00'	S84°18'34"E (R)
OSL11	20.00'	S84°18'34"E (R)
OSL12	20.00'	N78°57'34"E (R)
OSL13	20.00'	N78°57'34"E (R)
OSL14	20.00'	N60°58'25"E (R)
OSL15	30.00'	S82°02'49"E (R)

LOT AREAS

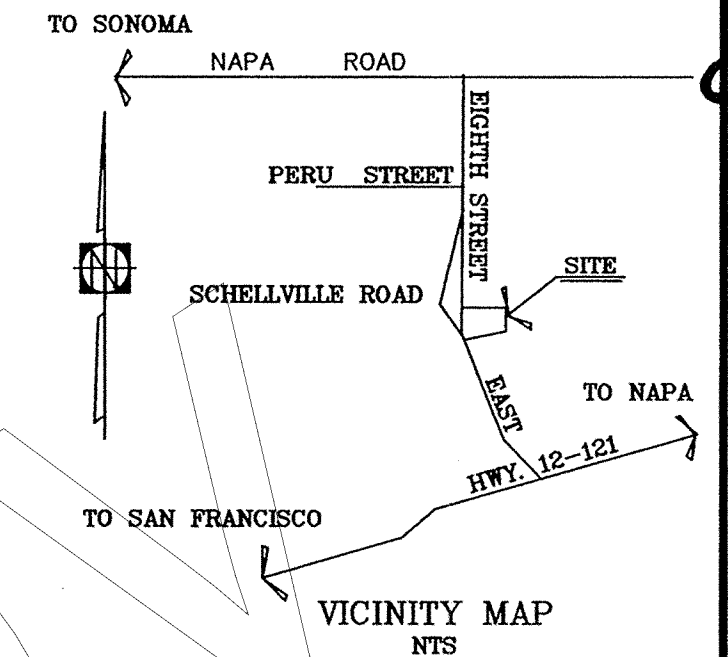
LOT #	AREA
LOT 1	272,839 SF 6.26 AC.
LOT 2	143,875 SF 3.30 AC.
LOT 3	145,695 SF 3.34 AC.
LOT 4	133,616 SF 3.07 AC.
LOT 5	141,628 SF 3.25 AC.
LOT 6	122,287 SF 2.81 AC.
LOT 7	102,834 SF 2.36 AC.
LOT 8	76,811 SF 1.76 AC.
LOT 9	80,053 SF 1.84 AC.
LOT 10	76,916 SF 1.77 AC.
LOT 11	73,347 SF 1.68 AC.
LOT 12	70,245 SF 1.61 AC.
LOT 13	95,894 SF 2.20 AC.
LOT 14	139,020 SF 3.19 AC.
LOT 15	207,004 SF 4.75 AC.
LOT 16	242,632 SF 5.57 AC.
LOT 17	201,475 SF 4.62 AC.

STREET NAME INDEX

- ① CARNEROS OAK LANE
- ② CARNEROS PARK BLVD.
- ③ CARNEROS VINEYARD WAY
- ④ CARNEROS LAKE LANE
- ⑤ CARNEROS MEADOWS LANE



STREET NAME DIAGRAM



VICINITY MAP NTS

BASIS OF BEARINGS

N 0°00'00" E BETWEEN FOUND 1/2" IRON PIPES DENOTING THE EAST LINE OF LANDS OF SCHELL INVESTMENTS AS SHOWN ON RECORD OF SURVEY 571 MAPS 19, SONOMA COUNTY RECORDS.

PROJECT BENCH MARK

TOP OF 1/2" IRON PIPE TAGGED "RCE 14946" ELEVATION 22.35 USGS DATUM.

ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

LEGEND

- FOUND SURVEY POINTS AS INDICATED
- SET 1/2" IRON PIN WITH CAP "PLS6234"
- ⊙ SET STREET MONUMENT, WITH 2" BRASS DISC STAMPED "PLS6234"
- () RECORD INFORMATION AS INDICATED
- R-1 RECORD OF SURVEY MAP, 571 MAPS 19, S.C.R.
- R-2 RECORD OF SURVEY MAP, 604 MAPS 16, S.C.R.
- R-3 DOCUMENT NO. 1997-073238
- OSL PROPERTY CORNER OFFSET LINE DATA

TRACT NO.1033
FINAL MAP OF
THE CARNEROS BUSINESS PARK

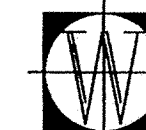
DIVISION OF LANDS OF SCHELL INVESTMENTS, A CALIFORNIA CORPORATION
DOCUMENT NO. 1997-0073239
BEING A PORTION OF PARCEL TWO IN TRACT B AS DESCRIBED IN DEED TO KENNETH E. LAIRD AND GAIL LAIRD RECORDED IN DOC. NO. 1996-0047728, ALSO BEING A PORTION OF PARCEL ONE AS SHOWN ON RECORD OF SURVEY BOOK 591 MAPS 19, SONOMA COUNTY RECORDS.

LYING WITHIN THE HUICHICA RANCHO
SONOMA COUNTY, CALIFORNIA

APN. 128-381-37

JULY 2004

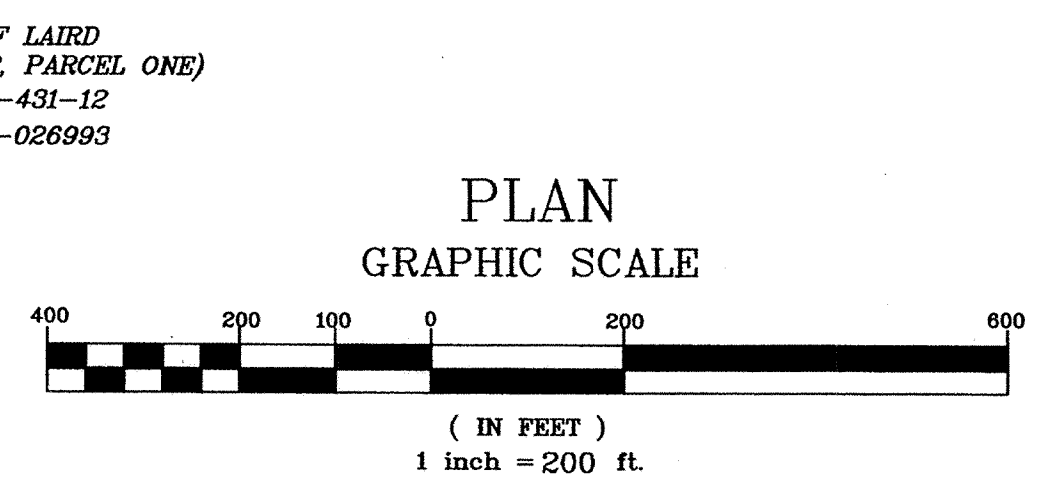
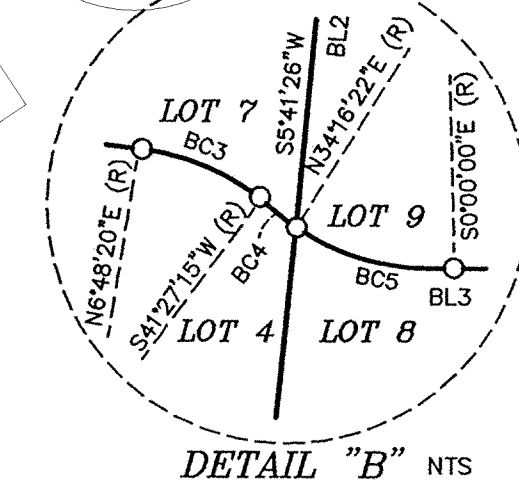
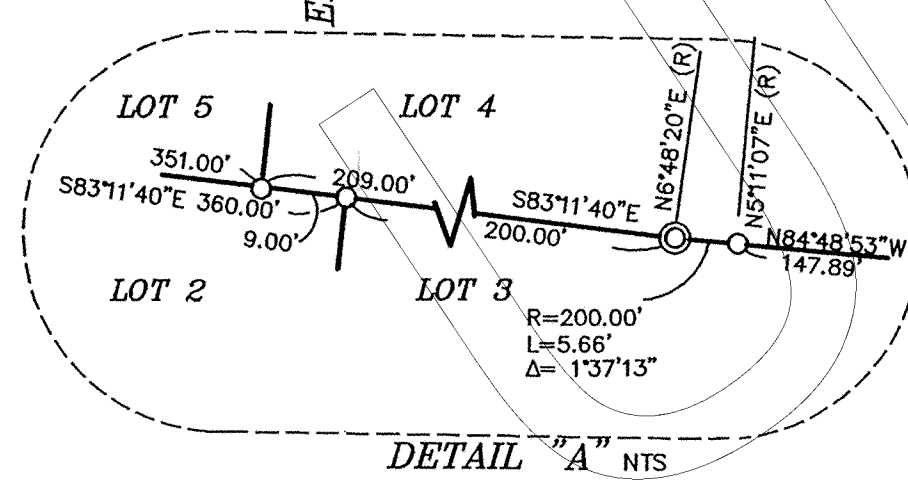
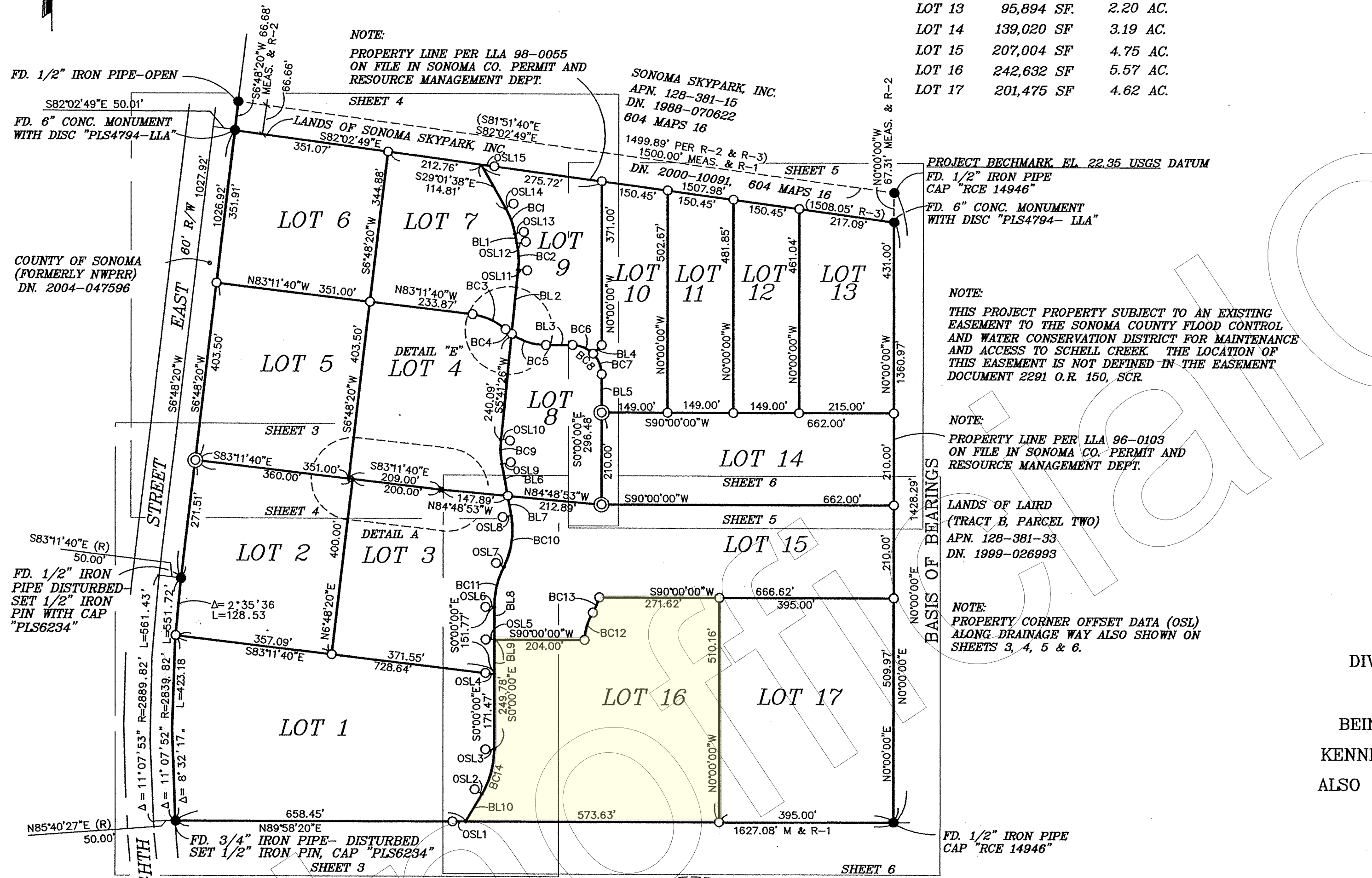
17 LOTS- 53.4 ACRES PLS 99-0035



BOB WALLING TECHNICAL SERVICES
P.O. BOX 1346 GLEN ELLEN, CA 95442
(415)382-1593 (707)938-1593 938-1592 FAX

JN. 98-57

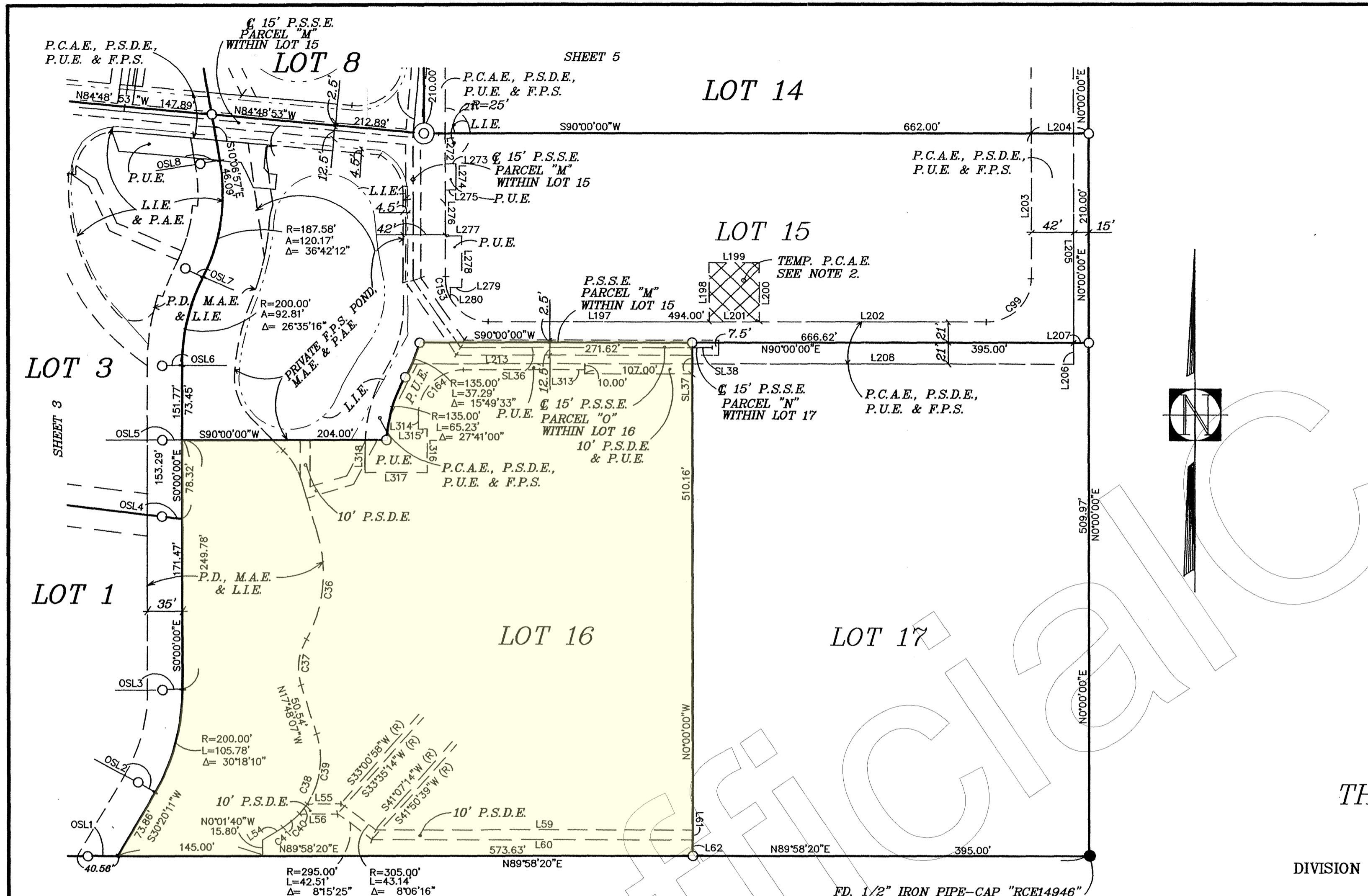
SHEET 2 OF 9



PLAN GRAPHIC SCALE

(IN FEET)
1 inch = 200 ft.

673
41



EASEMENT DATA

L54	24.32'	S57°44'12"W
L55	33.89'	S90°00'00"W
L56	38.84'	S90°00'00"W
L59	316.12'	S89°58'20"W
L60	319.90'	S89°58'20"W
L61	10.00'	S0°00'00"E
L62	16.00'	S0°00'00"E
L197	218.00'	N90°00'00"E
L198	60.00'	N0°00'00"W
L199	50.00'	N90°00'00"E
L200	60.00'	N0°00'00"W
L201	50.00'	N90°00'00"E
L202	226.00'	S90°00'00"E
L203	144.00'	S0°00'00"W
L204	57.00'	N90°00'00"E
L205	210.00'	S0°00'00"E
L206	21.00'	S0°00'00"W
L207	15.00'	N90°00'00"E
L208	380.00'	S90°00'00"E
L213	274.00'	N90°00'00"E
L272	30.19'	S1°03'04"W
L273	11.08'	N90°00'00"E
L274	26.31'	S0°00'00"E
L275	10.92'	S90°00'00"W
L276	45.78'	S0°00'00"E
L277	16.50'	N90°00'00"E
L278	52.00'	S0°00'00"E
L279	11.50'	S90°00'00"W
L280	10.48'	S0°00'00"E
L313	121.44'	S90°00'00"W
L314	13.46'	S0°00'00"E
L315	8.94'	N90°00'00"E
L316	42.79'	S0°00'00"E
L317	62.00'	S90°00'00"W
L318	32.25'	N0°19'02"E

EASEMENT DATA

NUM	DELTA	ARC	RADIUS
C36	45°59'43"	111.59'	139.00'
C37	47°08'33"	45.25'	55.00'
C38	75°32'19"	105.47'	80.00'
C39	51°40'02"	72.14'	80.00'
C40	9°09'13"	12.78'	80.00'
C41	14°43'03"	20.55'	80.00'
C99	90°00'00"	70.69'	45.00'

P.S.S.E. EASEMENT DATA

SL36	230.80'	N90°00'00"E
SL37	5.00'	N0°00'00"W
SL38	20.00'	N90°00'00"E

(OSL) PROPERTY CORNER OFFSET DATA

NUM	DISTANCE	BEARING
OSL1	30.00'	N89°58'20"E
OSL2	20.00'	N59°39'49"W (R)
OSL3	20.00'	N90°00'00"W (R)
OSL4	20.14'	S83°11'40"E
OSL5	20.00'	N90°00'00"E
OSL6	20.00'	N90°00'00"E (R)
OSL7	20.00'	S63°24'44"E (R)
OSL8	20.00'	N79°53'03"E (R)

BASIS OF BEARINGS

N 0°00'00" E BETWEEN FOUND 1/2" IRON PIPES DENOTING THE EAST LINE OF LANDS OF SCHELL INVESTMENTS AS SHOWN ON RECORD OF SURVEY 571 MAPS 19, SONOMA COUNTY RECORDS.

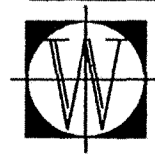
ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

TRACT NO.1033
FINAL MAP OF
THE ARNEROS BUSINESS PARK


DIVISION OF LANDS OF SCHELL INVESTMENTS, A CALIFORNIA CORPORATION
DOCUMENT NO. 1997-0073239
BEING A PORTION OF PARCEL TWO IN TRACT B AS DESCRIBED IN DEED TO KENNETH E. LAIRD AND GAIL LAIRD RECORDED IN DOC. NO. 1996-0047728, ALSO BEING A PORTION OF PARCEL ONE AS SHOWN ON RECORD OF SURVEY BOOK 591 MAPS 19, SONOMA COUNTY RECORDS.

LYING WITHIN THE HUICHICA RANCHO
SONOMA COUNTY, CALIFORNIA
APN. 128-381-37
JULY 2004

17 LOTS- 53.4 ACRES	PLP 99-0035
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 BOB WALLING TECHNICAL SERVICES
P.O. BOX 1346 GLEN ELLEN, CA 95442
(415)382-1593 (707)938-1593 938-1592 FAX

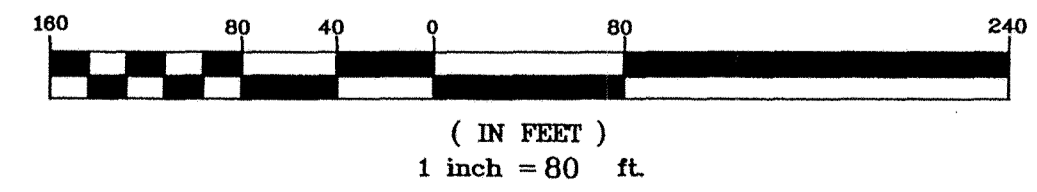
LEGEND

- FOUND SURVEY POINTS AS INDICATED
- SET 1/2" IRON PIN WITH CAP "PLS6234"
- ⊙ SET STREET MONUMENT WITH 2" DISC STAMPED "PLS6234"
- () RECORD INFORMATION AS INDICATED
- P.S.S.E. PUBLIC SANITARY SEWER EASEMENT
- P.D. & M.A.E. PRIVATE DRAINAGE & MAINTENANCE ACCESS EASEMENT
- P.S.D.E. PRIVATE STORM DRAINAGE EASEMENT
- P.C.A.E. PRIVATE COMMON ACCESS EASEMENT
-  TEMPORARY P.C.A.E.
- P.U.E. PUBLIC UTILITY EASEMENT
- P.U.E. PUBLIC UTILITY EASEMENT
- F.P.S. FIRE PROTECTION SYSTEM
- L.I.E. LANDSCAPE & IRRIGATION EASEMENT

NOTES

1. ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
2. "TEMPORARY P.C.A.E." SUBJECT TO TERMINATION BY THE PROJECT'S OWNERS' ASSOCIATION UPON APPROVAL OF THE OWNER'S ASSOCIATION OF THE SAME AS PROVIDED IN THE PROJECT CC&R'S, WHICH ARE OR WILL BE RECORDED IN THE OFFICIAL RECORDS OF SONOMA COUNTY, AND SATISFACTION OF ALL OTHER CONDITIONS SET FORTH IN THE PROJECT CC&R'S. UPON TERMINATION OF THE TEMPORARY P.C.A.E., AN AMMENDMENT TO THE CC&R'S EVIDENCING THE SAME WILL BE RECORDED IN THE OFFICIAL RECORDS OF SONOMA COUNTY.
3. EASEMENT DATA NOT SHOWN ON THIS SHEET IS SHOWN ON SHEETS 7 AND 8.
4. THE EASEMENT AREAS "A" & "D" ARE THE EMERGENCY VEHICLE ACCESS ROADS AND P.U.E.

GRAPHIC SCALE



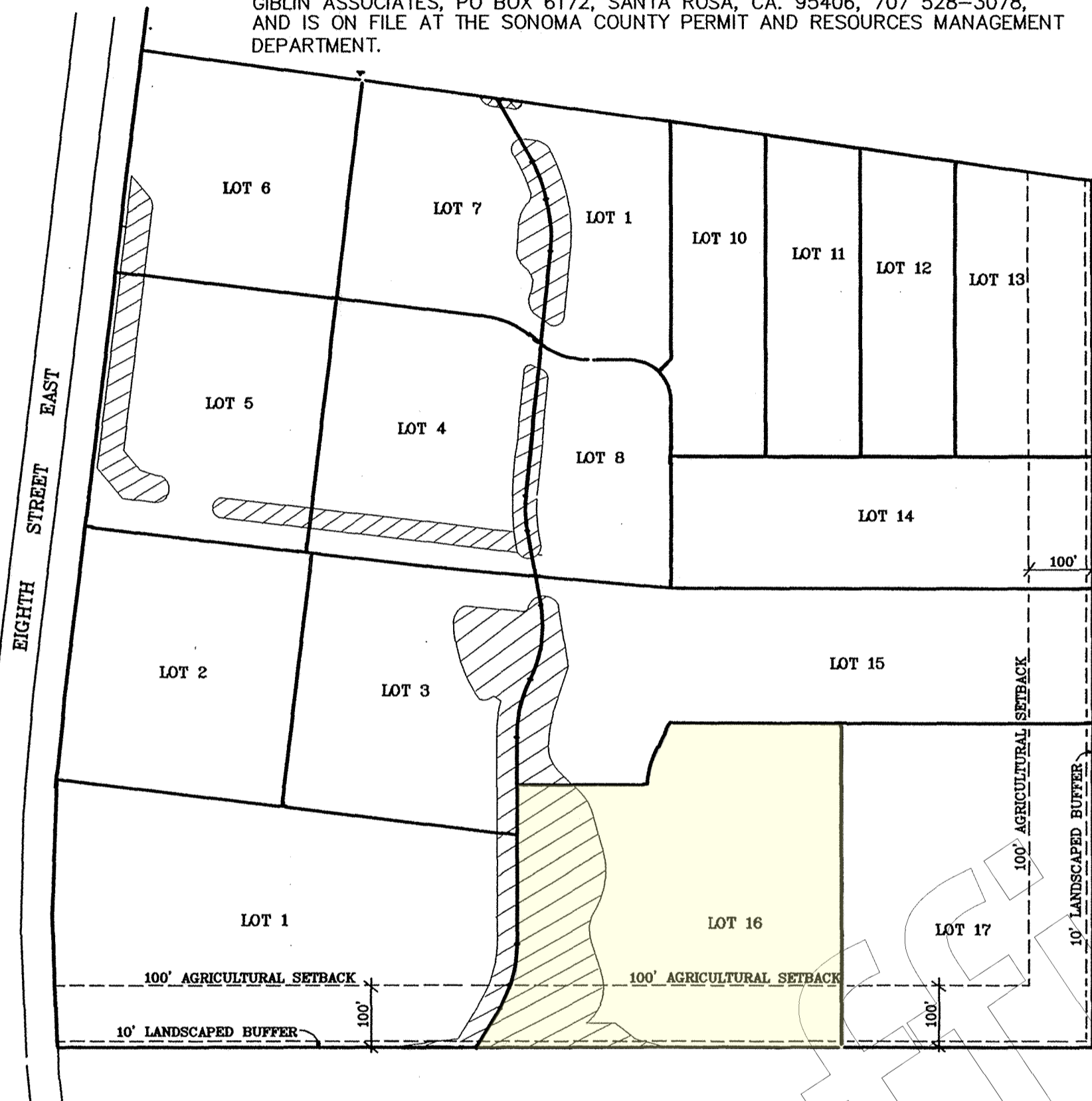
673
44

"PRAC" REQUIRED NOTES

1. A DEVELOPEMENT FEE (TRAFFIC MITIGATION FEE) SHALL BE PAID TO THE COUNTY OF SONOMA, AS REQUIRED BY SECTION 26, ARTICLE 98 OF THE SONOMA COUTY CODE, INCLUSIVE BEFORE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THIS APPLICATION.
2. THIS SITE IS AFFECTED BY FLOODING FROM SCHELL CREEK AND THE 100-YEAR FLOOD ELEVATION IS ESTIMATED TO BE 14+FEET ABOVE SEA LEVEL. A MINIMUM FLOOR LEVEL OF ONE (1) FOOT ABOVE THE 100 YEAR FLOOD PLAIN IS REQUIRED. DETERMINATION OF THE 100 YEAR FLOOD LEVEL IN THE TRIBUTARIES THROUGH THE SITE IS REQUIRED AS PART OF THE ENGINEERING CALCULATIONS FOR THE PROJECT.
3. A SOILS REPORT DATED MAY 2, 2002 FOR THIS SITE WAS PREPARED BY GIBLIN ASSOCIATES, PO BOX 6172, SANTA ROSA, CA. 95406, 707 528-3078, AND IS ON FILE AT THE SONOMA COUNTY PERMIT AND RESOURCES MANAGEMENT DEPARTMENT.

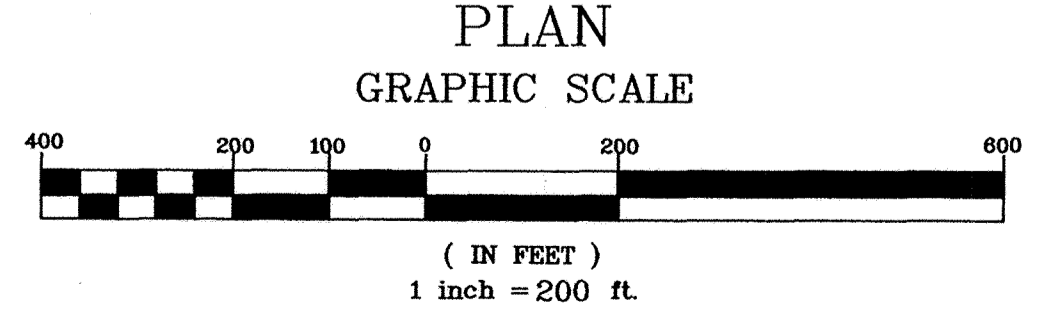
4. A SAFE, POTABLE WATER SUPPLY SHALL BE PROVIDED AND MAINTAINED ON EACH PARCEL. OWNER SHALL DRILL A WELL UNDER PERMIT AND INSPECTION FROM THE PERMIT AND RESOURCE MANAGEMENT DEPARTMENT. WELLS MUST BE LOCATED AT A MINUMUM OF 25 FEET FROM APPROVED WASTE WATER PLUMBING. WELLS SERVING POPULATIONS OF 25 OR MORE INDIVIDUALS, 60 OR MORE DAYS PER YEAR, WILL REQUIRE A PERMIT OR LETTER FROM THE DEPARTMENT OF HEALTH SERVICES, OFFICE OF DRINKING WATER. (THESE WELLS WILL REQUIRE A 50 FOOT ANNULAR SEAL.)
5. PROVIDE THIS DIVISION WITH THE BACTERIOLOGICAL RESULTS OF A SAMPLE OF YOUR WATER TESTED BY A STATE-CERTIFIED LAB. IF THE ANALYSIS SHOWS CONTAMINATION, THE APPLICANT WILL BE REQUIRED TO TREAT THE WELL PER COUNTY REQUIREMENTS AND RE-TEST THE WELL. OWNERS SHALL SUBMIT A COPY OF THE WATER ANALYSIS REPORT TO PROJECT REVIEW HEALTH PRIOR TO BUILDING PERMIT ISSUANCE.
6. TOILET FACILITIES SHALL BE PROVIDED FOR EMPLOYEES. EACH OWNER SHALL SUBMIT A COPY OF THE BUILDING FLOOR PLAN TO PROJECT REVIEW HEALTH SHOWING OPERATIONS LAYOUT AND RESTROOM LOCATIONS PRIOR TO BUILDING PERMIT ISSUANCE.
7. PRIOR TO OCCUPANCY, EACH OWNER SHALL VERIFY COMPLIANCE BY SUBMITTING A COPY OF AN APPROVAL LETTER OR PERMIT TO PROJECT REVIEW HEALTH. IF HAZEROUS WASTE IS GENERATED OR HAZARDOUS MATERIALS STORED, THEN THE APPLICANT SHALL COMPLY WITH HAZARDOUS WASTE GENERATOR LAWS AND AB2185 REQUIREMENTS AND OBTAIN A PERMIT OR APPROVAL FROM THE C.U.P.A. OR THE PARTICIPATING AGENCY. (ADDITIONAL INFORMATION AND FEES MAY BE REQUIRED.)
8. PRIOR TO OCCUPANCY, IF APPLICABLE, WHOLESALE WAREHOUSING, FOOD DISTRIBUTION OR PRODUCTION OPERATIONS SHALL OBTAIN A PERMIT FROM THE STATE DEPARTMENT OF HEALTH SERVICES AT 50 "D" STREET, SANTA ROSA, CA. PRIOR TO THE ISSUANCE OF BUILDING PERMITS, COMPLETE PLANS AND SPECIFICATIONS MUST BE SUBMITTED OT THE STATE DEPARTMENT OF HEALTH SERVICES FOR REVIEW AND APPROVAL. A COPY OF AN APPROVAL LETTER SHALL BE SUBMITTED TO PROJECT REVIEW HEALTH TO VERIFY COMPLIANCE.
9. NOISE SHALL BE CONTROLLED IN ACCORDANCE WITH THE STANDARDS SET IN THE NOISE ELEMENT OF THE SONOMA COUNTY GENERAL PLAN. PRIOR TO BUILDING PERMIT ISSUANCE, THE OWNERS SHALL VERIFY COMPLIANCE WITH THE REQUIREMENTS OF THE DECEMBER 2, 1997 LUMINA TECHNOLOGIES ACCOUSTICAL REPORT REGARDING SETBACKS AND BUILDING CONSTRUCTION RECOMMENDATIONS (ITEM #4). A COPY OF THE ACCOUSTICAL REPORT SHALL BE ATTACHED TO THE BUILDING PLANS WHEN SUBMITTED FOR PLAN CHECK.
10. APPLICANT SHALL SUBMIT A DESIGN FOR TRASH ENCLOSURES FOR REVIEW AND APPROVAL TO ENVIRONMENTAL HEALTH. (FEES MAY APPLY) A COPY OF THE APPROVAL LETTER SHALL BE SUBMITTED TO PROJECT REVIEW HEALTH TO VERIFY COMPLIANCE.
11. ALL SANITARY SEWER INSPECTION PERMITS SHALL BE OBTAINED FROM THE SONOMA COUNTY PERMIT AND RESOURCE MANAGEMENT DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
12. AGRICULTURAL USES OCCUR IN THIS AREA AND PESTICIDE APPLICATIONS, DUST, ODOR, AND OTHER NUISANCES ASSOCIATED WITH AGRICULTURAL ACTIVITIES MAY OCCUR.
13. IF ARCHAEOLOGICAL REMAINS ARE UNCOVERED DURING EXCAVATION WORK SHALL BE HALTED UNTIL A QUALIFIED ARCHAEOLOGIST CAN EVALUATE THE FINDS.

14. THE PROPERTY IS IN THE AREA SUBJECT TO OVERFLIGHTS USING THE SONOMA SKYPARK AIRPORT. AS A RESULT, USERS AND INDIVIDUALS ASSOCIATED WITH THE INDUSTRIAL SUBDIVISION MAY EXPERIENCE INCONVENIENCE, ANNOYANCE OR DISCOMFORT ARISING FROM THE NOISE OF SUCH OPERATIONS. STATE LAW (PUBLIC UTILITY CODE 21670) ESTABLISHES THE IMPORTANCE OF PUBLIC USE AIRPORTS TO THE PROTECTION OF THE PEOPLE OF CALIFORNIA. RESIDENTS OF THE PROPERTY IN CLOSE PROXIMITY OF SONOMA SKYPARK AIRPORT, A PUBLIC USE AIRPORT, SHOULD BE PREPARED TO ACCEPT SUCH INCONVENIENCE, ANNOYANCE, OR DISCOMFORT FROM NORMAL AIRCRAFT OPERATIONS.
15. DEVELOPMENT OF THE SUBDIVISION SHALL BE IN ACCORDANCE WITH THE PLANS ON FILE DEMONSTRATING THAT LOT COVERAGE WITHIN THE TRANSITIONAL ZONE DOES NOT EXCEED 33 PERCENT AND AN OPEN SPACE AREA OF AT LEAST 30 PERCENT WHICH COULD BE USED BY AIRCRAFT TO MAKE EMERGENCY LANDINGS WITHOUT DAMAGING STRUCTURES.
16. DEVELOPMENT OF THESE LOTS SHALL BE IN ACCORDANCE WITH THE PLAN ON FILE THAT GRAPHICALLY ILLUSTRATES THE RELATIONSHIP OF THE TRANSITIONAL ZONE HEIGHT-LIMITS TO THE SUBDIVIDED PROPERTY.
17. TO AVOID ADVERSE IMPACTS ON 8TH STREET EAST/NAPA ROAD INTERSECTION PRIOR TO CONSTRUCTION OF A SIGNAL, DEVELOPMENT ON THE SITE SHALL BE LIMITED TO NO MORE THAN 340,000 SQUARE FEET OF BUILDING AREA, IMPLEMENTED WITH BUILDING PERMIT ISSUANCE, UNTIL SUCH TIME AS THE TRAFFIC SIGNAL IS OPERATIONAL. THIS NOTE SHALL BECOME VOID ONCE THE SIGNAL AT THE INTERSECTION OF 8TH STREET EAST AND NAPA ROAD IS OPERATIONAL.
18. THE TRAFFIC ANALYSIS AND MITIGATION WERE DEVELOPED BASED ON A PROJECT DESCRIPTION SHOWING ULTIMATE DEVELOPMENT OF 5,000 SQUARE FEET OF OFFICE PARK AND 765,900 SQUARE FEET OF MANUFACTURING WAREHOUSING (TJKM TRAFFIC STUDY, JAN. 2001). IN THE EVENT THAT FUTURE DEVELOPMENT OF ANY PARCEL PROPOSES USES OTHER THAN OFFICE PARK OR WAREHOUSING/MANUFACTURING, OR PROPOSES A CUMULATIVE TOTAL (FOR ALL LOTS) OF MORE THAN 5,000 SQUARE FEET OF OFFICE PARK DEVELOPMENT, ADDITIONAL TRAFFIC ANALYSIS SHALL BE REQUIRED. ADDITIONAL MITIGATION MEASURES MAY BE REQUIRED IF TOTAL TRIP GENERATION FROM THE PROJECT IS ESTIMATED TO EXCEED THE 3,856 DAILY TRIPS ESTIMATED IN THE (JAN. 2001) TJKM TRAFFIC STUDY.
19. UNDERGROUNDING OF UTILITIES IS REQUIRED. EVIDENCE THAT UNDERGROUNDING HAS BEEN DONE SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT THE TIME OF FINAL INSPECTION.
20. DEVELOPMENT OF THESE LOTS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE DESIGN REVIEW COMMITTEE. DESIGN REVIEW SHALL INCLUDE BUT NOT BE LIMITED TO BUILDING ELEVATIONS, LIGHTING, SIGNS, PARKING AND LANDSCAPING.



SUBJECT TO
INUNDATION

= AREAS OF ELEVATION 14.0 OR LOWER BASED ON U.S.G.S. VERTICAL DATUM.



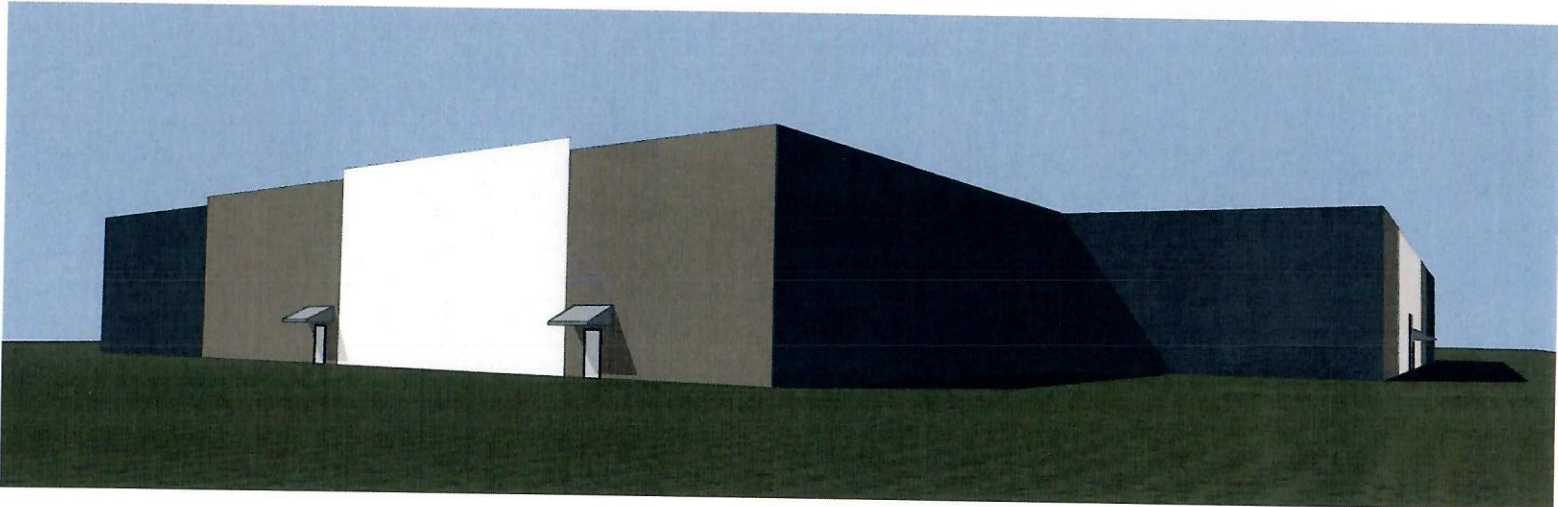
SUPPLEMENTAL DATA SHEET
TRACT NO. 1033
FINAL MAP OF
THE ARNEROS BUSINESS PARK
DIVISION OF LANDS OF SCHELL INVESTMENTS, A CALIFORNIA CORPORATION
DOCUMENT NO. 1997-0073239
BEING A PORTION OF PARCEL TWO IN TRACT B AS DESCRIBED IN DEED TO KENNETH E. LAIRD AND GAIL LAIRD RECORDED IN DOC. NO. 1996-0047728, ALSO BEING A PORTION OF PARCEL ONE AS SHOWN ON RECORD OF SURVEY BOOK 591 MAPS 19, SONOMA COUNTY RECORDS.
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APN. 128-381-37
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17 LOTS- 53.4ACRES PLP 99-0035



BOB WALLING TECHNICAL SERVICES
P.O. BOX 1346 GLEN ELLEN, CA 95442
(415)382-1593 (707)938-1593 938-1592 FAX

DESIGN REVIEW



NORTH BAY WAREHOUSING LLC
LOT 6 CARNEROS BUSINESS PARK
SONOMA, CALIFORNIA 95476
APN 128-680-016

Revisions	By:	Date

VICTOR CONFORTI - ARCHITECT
755 Broadway
Sonoma, California
94966
P: (707) 938-7228



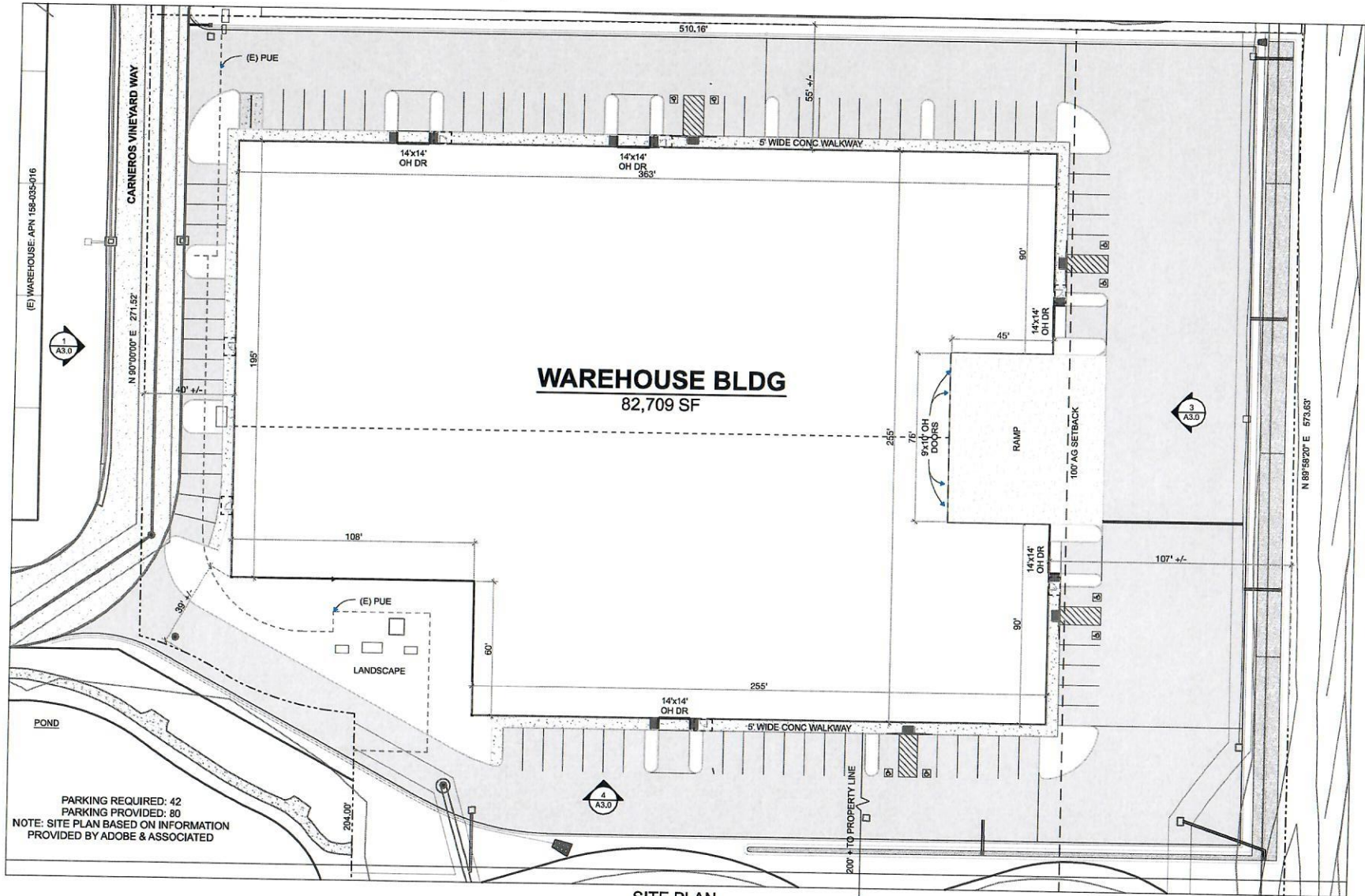
PROFESSIONAL SEAL OF THE ARCHITECTS OF THE STATE OF CALIFORNIA. THIS SEAL IS VALID FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OF THIS SEAL FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED.

Cover Sheet

NORTH BAY WAREHOUSING
LOT 16 CARNEROS BUSINESS PARK
SONOMA, CA 95476
APN: 141-032-34

DATE: 4/21/21
Drawn: MCCARTHY DESIGN

A0.1



PARKING REQUIRED: 42
 PARKING PROVIDED: 80
 NOTE: SITE PLAN BASED ON INFORMATION PROVIDED BY ADOBE & ASSOCIATED

SITE PLAN
 SCALE: 1" = 20'

Revisions	By	Date

VICTOR CONFORTI - ARCHITECT
 735 BROADWAY, 4TH FLOOR
 SAN FRANCISCO, CA 94107
 P: (415) 774-2322

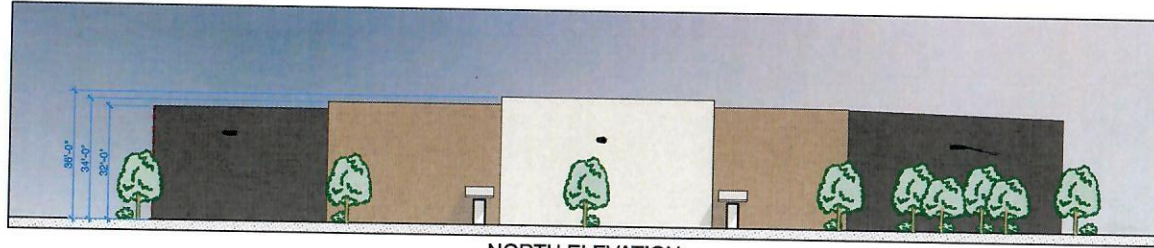


REGISTERED PROFESSIONAL ARCHITECT
 STATE OF CALIFORNIA
 LICENSE NO. 51824
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 51824

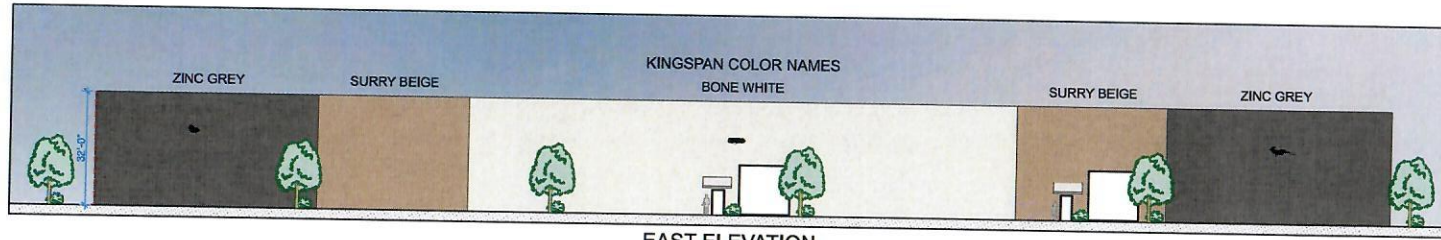
Site Plan

NORTH BAY WAREHOUSING
 LOT 16 CARNEROS BUSINESS PARK
 SONOMA, CA 95476
 APN: 141-032-34

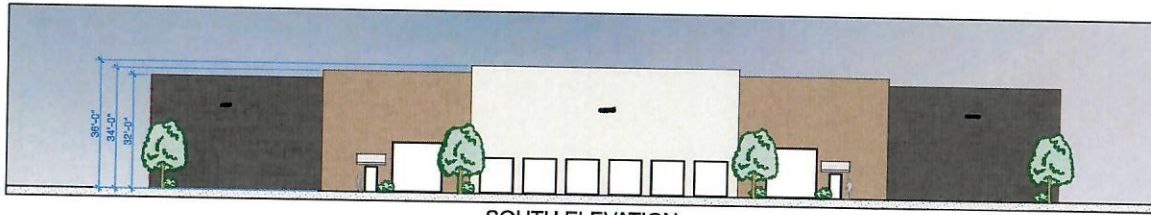
DATE: 4/21/21
 Drawn: MCCARTHY DESIGN



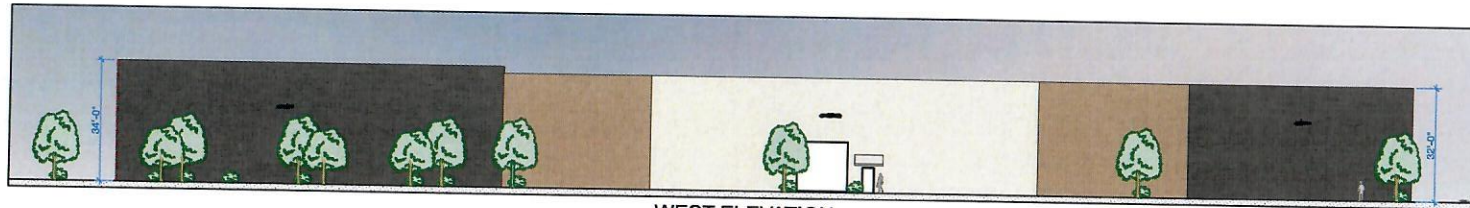
NORTH ELEVATION
SCALE: 1/16" = 1'-0"



EAST ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"

Revisions	By:	Date

VICTOR CONFORTI - ARCHITECT
1500 12TH AVENUE
SONOMA, CA 95476
P: (707) 996-7923



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ELEVATIONS

NORTH BAY WAREHOUSING
LOT 16 CARNEROS BUSINESS PARK
SONOMA, CA 95476
APN: 1411-032-34

DATE: 4/2/21
Drawn: MCCARTHY
DESIGN

GENERAL NOTES:

- 1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION SHALL CONFORM TO THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS AND STANDARD PLANS (CURRENT EDITION)
2. FOR ANY WORK TO BE PERFORMED ON THE COUNTY RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE SONOMA COUNTY DEPARTMENT OF RESOURCE MANAGEMENT, 2550 VENTURA AVENUE, SANTA ROSA, BEFORE START OF WORK...

GRADING & DRAINAGE NOTES:

- 1. PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CHAPTER 11 AND 11A OF THE SONOMA COUNTY CODE (SCC), APPLICABLE SONOMA COUNTY REGULATIONS.
2. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE RESOURCE MANAGEMENT DEPARTMENT...

GRADING & DRAINAGE INSPECTION NOTES

- 1. THE PERMITS AND THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE WORK TO BE PERFORMED IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, CHAPTER 11 AND 11A OF THE SONOMA COUNTY CODE (SCC), AND ANY PERMIT CONDITIONS. WORK SHALL BE SUBJECT TO INSPECTION AS REQUIRED BY THE SONOMA COUNTY PERMIT AND RESOURCE MANAGEMENT DEPARTMENT (PMD) TO VERIFY COMPLIANCE. THE CONTRACTOR SHALL CONSULT THE PROJECT JOB CARD FOR COORDINATION OF INSPECTION REQUESTS.
2. PRIOR TO THE START OF ANY GRADING OR DRAINAGE WORK, THE PERMITTEE SHALL HAVE A PRE-CONSTRUCTION CONSULTATION WITH MANAGEMENT SERVICES (MS) AND ANY OTHER CONSTRUCTION ISSUES.
3. INSPECTION REQUESTS SHALL BE MADE THROUGH THE SONOMA COUNTY AUTOMATED INSPECTION REQUEST SYSTEM (SELECTOR), AT PHONE NUMBER (707) 565-3595...

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

- 1. PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH CHAPTER 11 AND 11A OF THE SONOMA COUNTY CODE (SCC)
2. THE APPROVED PLANS SHALL CONFORM TO THE PERMIT AND RESOURCE MANAGEMENT DEPARTMENT'S (PMD) EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP'S) GUIDE AS POSTED ON THE PMD WEBSITE.
3. THE PROPERTY OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR EROSION PREVENTION AND SEDIMENT CONTROL. WORK SHALL BE SUBJECT TO A STOP WORK ORDER AND/OR ADDITIONAL INSPECTION FEES TO VERIFY COMPLIANCE WITH SCC.

ABBREVIATIONS

Table listing abbreviations for materials and structures, including: AA: ADOBE ASSOCIATES, INC., AF: ASBESTOS FIBER, AK: ASPHALT CURB, AM: AREA MARKING, AN: ANGLE, AR: AREA, AS: AREA DRAIN, AT: ASPHALT, BA: BAY, BB: BLDG BUILDING, BC: BRICK, BF: BRICK FINISH, BG: BLDG GROUP, BH: BLDG HEIGHT, BI: BLDG INTERIOR, BJ: BLDG JOINT, BK: BLDG KITCHEN, BL: BLDG LIVING, BM: BLDG MECHANICAL, BN: BLDG NORTH, BO: BLDG OUTLET, BP: BLDG PAVEMENT, BR: BLDG REINFORCING, BS: BLDG SIDE, BT: BLDG TERRACE, BU: BLDG UNDERGROUND, BV: BLDG VENT, BW: BLDG WALL, BX: BLDG EXTERIOR, BY: BLDG YARD, BZ: BLDG ZONE, CA: CONCRETE, CB: CATCH BASIN, CC: CONC. CONC, CD: CEMENTITE, CE: CENTERLINE, CF: CONCRETE FINISH, CG: CEMENTITE METAL PIPE, CH: CHIMNEY, CI: CONC. CONC, CJ: CONC. CONC, CK: CONC. CONC, CL: CONC. CONC, CM: CONC. CONC, CN: CONC. CONC, CO: CONC. CONC, CP: CONC. CONC, CQ: CONC. CONC, CR: CONC. CONC, CS: CONC. CONC, CT: CONC. CONC, CU: CONC. CONC, CV: CONC. CONC, CW: CONC. CONC, CX: CONC. CONC, CY: CONC. CONC, CZ: CONC. CONC, D: DRAIN, DA: DRAIN, DB: DRAIN, DC: DRAIN, DD: DRAIN, DE: DRAIN, DF: DRAIN, DG: DRAIN, DH: DRAIN, DI: DRAIN, DJ: DRAIN, DK: DRAIN, DL: DRAIN, DM: DRAIN, DN: DRAIN, DO: DRAIN, DP: DRAIN, DQ: DRAIN, DR: DRAIN, DS: DRAIN, DT: DRAIN, DU: DRAIN, DV: DRAIN, DW: DRAIN, DX: DRAIN, DY: DRAIN, DZ: DRAIN, EA: EROSION, EB: EROSION, EC: EROSION, ED: EROSION, EE: EROSION, EF: EROSION, EG: EROSION, EH: EROSION, EI: EROSION, EJ: EROSION, EK: EROSION, EL: EROSION, EM: EROSION, EN: EROSION, EO: EROSION, EP: EROSION, EQ: EROSION, ER: EROSION, ES: EROSION, ET: EROSION, EU: EROSION, EV: EROSION, EW: EROSION, EX: EROSION, EY: EROSION, EZ: EROSION, FA: FENCE, FB: FENCE, FC: FENCE, FD: FENCE, FE: FENCE, FF: FENCE, FG: FENCE, FH: FENCE, FI: FENCE, FJ: FENCE, FK: FENCE, FL: FENCE, FM: FENCE, FN: FENCE, FO: FENCE, FP: FENCE, FQ: FENCE, FR: FENCE, FS: FENCE, FT: FENCE, FU: FENCE, FV: FENCE, FW: FENCE, FX: FENCE, FY: FENCE, FZ: FENCE, GA: GRASS, GB: GRASS, GC: GRASS, GD: GRASS, GE: GRASS, GF: GRASS, GG: 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LEGEND

Legend table with columns: PROPOSED, EXISTING, DESCRIPTION. It lists various site features like CURB & GUTTER, SANITARY SEWER & MANHOLE, SANITARY SEWER & CLEANOUT, SANITARY SEWER LATERAL, STORM DRAIN & MANHOLE, STORM DRAIN & MANHOLE INLET (D), STORM DRAIN & MANHOLE (AO), ROOF DRAIN & DOWN SPOUT (DS), WATER SERVICES / W, WATER SERVICES / R/SP, FLOW LINE / D/C/V, BLOW-OFF, WATER MAIN & GATE VALVE, FIRE HYDRANT, STREET SIGN, STREET NAME SIGN, JOINT TRENCH COUPLING, DRY UTILITY (BY OTHERS), JOINT TRENCH COUPLING, DRY UTILITY (BY OTHERS), LIGHT STANDARD, UTILITY POLE W/NO MD WIRE, DETAIL: 1 ON SHEET C3.0, DRAINAGE SHALE, LANDLIGHT LINE, APPROXIMATE LIMIT OF GRASSLAND/DISTURBANCE, INDEX CONTOUR, INTERMEDIATE CONTOUR, GRADE BREAK W/ SLOPE SHADE, GRADE BREAK / SLOPE SHADE.

OWNER INFO

SONOMA VINTAGE ENTERPRISES, INC. P.O. BOX 1344, SONOMA, CA 94974 PHONE: (707) 596-3144

PURPOSE STATEMENT:

THIS PROJECT PROPOSES GRADING AND DRAINAGE IMPROVEMENTS FOR A NEW BUILDING, DRIVEWAY, WALKWAYS, AND ASSOCIATED LANDSCAPING AND LANDSCAPING.

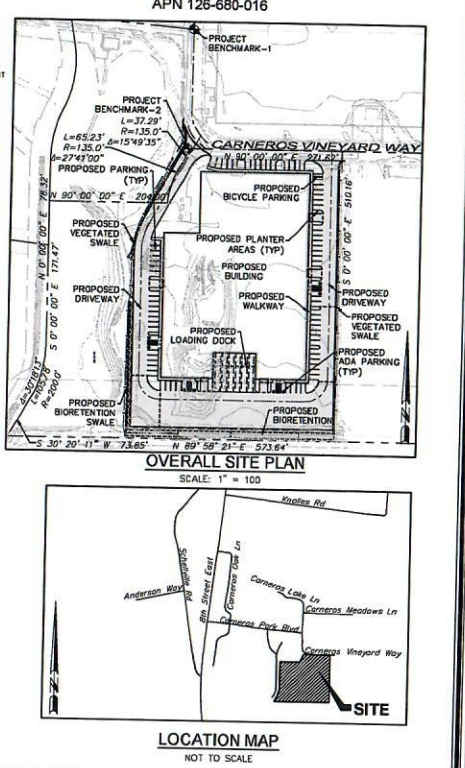
BENCHMARK

PROJECT BENCHMARK-1 FD ST-MON, CONTROL POINT-1 ELE=17.18 AN ASSUMED DATUM PROJECT BENCHMARK-2 FD-RECAP-P-252524, CONTROL POINT-10 ELE=17.41 AN ASSUMED DATUM

PARKING

TOTAL PARKING SPACES: 74 ADA PARKING SPACES: 8 (EIGHT ARE VAN ACCESSIBLE)

NORTHBAY WAREHOUSING, LLC. GRADING & DRAINAGE PLAN LOT 16 CARNERS BUSINESS PARK SONOMA, California



NOTE: GRASS-LINED SWALES TO BE INSTALLED AS WETLAND MITIGATION MEASURE (CARNERS BUSINESS PARK); + TOTAL REQUIRED LENGTH (LOT 16): 1,030 LF + PROPOSED +/- THIS IMPROVEMENT PLAN: 1,030 LF

NOTE: 1. ALL STRUCTURES, FENCES, WALLS, PORCHES, DECKS, HEADERS, POOLS & SEPTIC ARE SHOWN FOR REFERENCE ONLY AND ARE NOT COVERED UNDER THIS GRADING PERMIT. SEPARATE PERMITS ARE REQUIRED.

NOTE: Site Grading is based upon subgrade to existing grade. No account has been taken for any fillings, expansion or contraction. Volumes should be verified and determined independently by the contractor.

GRADING QUANTITIES: CUT: 3123 CY, FILL: 472 CY, TOTAL BASE ROCK: 1652 CY. Note: Excess material to be off-hauled to an approved location or placed onsite under the direction of the project. Soil Engineer: Earth materials placed onsite not shown on three plans may require reevaluation by the grading permit. Area of Disturbance = 3.96 Acres. W/D/D:

SHEET INDEX

Table showing sheet index with columns: TITLE SHEET, GRADING AND DRAINAGE PLAN, UTILITY PLAN, DETAILS, SITE SECTIONS.

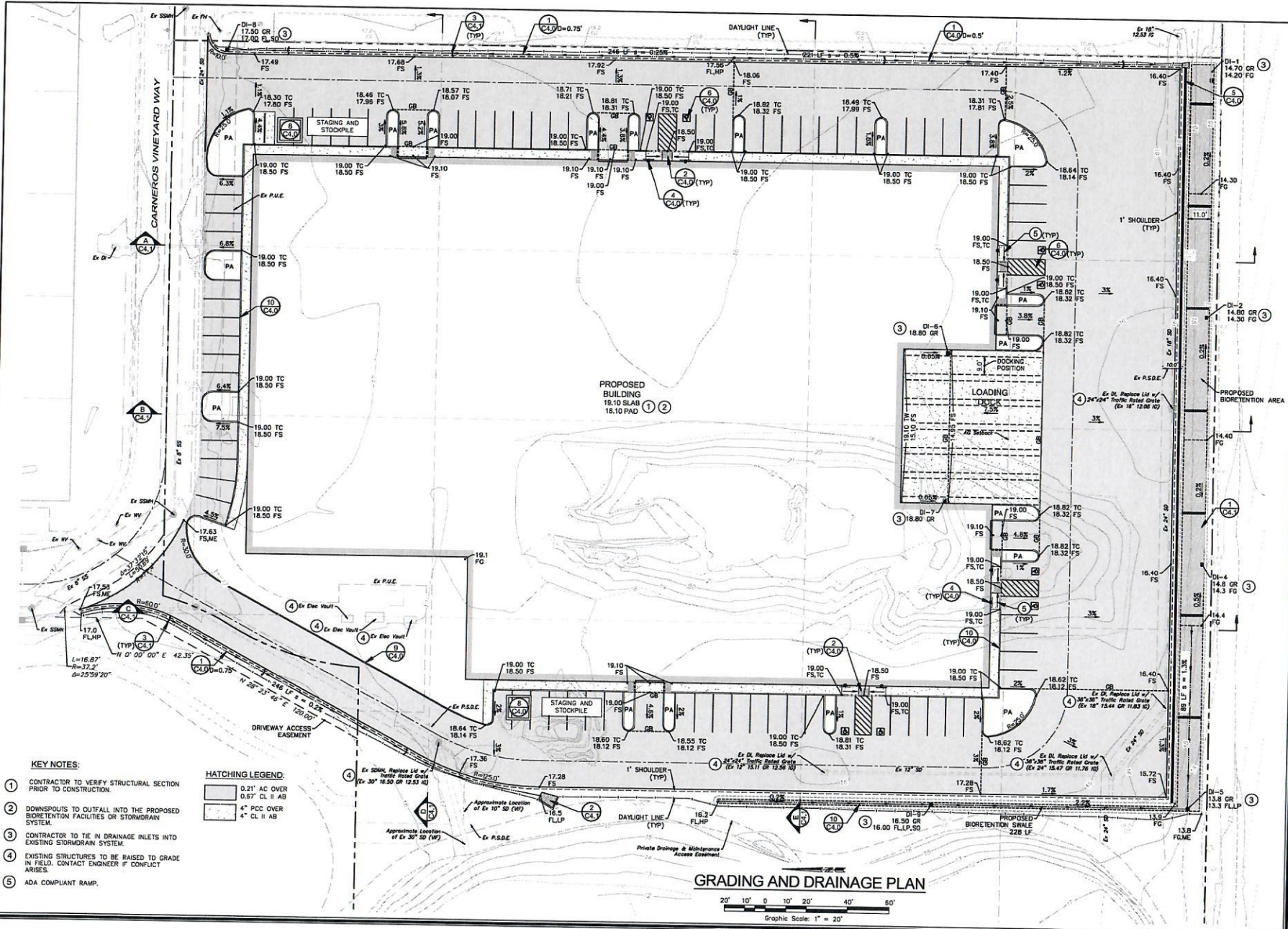
Revision table with columns: No., Date, Description. It shows two revisions: 1 (Approved) and 2 (Approved).

adobe associates, inc. Civil engineering / land surveying / landscape architecture. 1230 N. Dublin Ave., Suite 208, CA 94941. Phone: (707) 541-2310. Website: www.adobeassoc.com. License No.: CE-07880. License Expires: 9/30/2021.

NORTHBAY WAREHOUSING, LLC. TITLE SHEET 16 Carners Business Park Sonoma, California APN 128-680-016

Scales shown: 1 inch = 100 feet. Date: April 2021. Design by: KM. Drawn by: KM. Checked by: ZB. Title: C1.0. Sheet 1 of 5. Total sheets: 18194.

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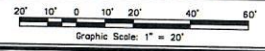


- KEY NOTES:**
- CONTRACTOR TO VERIFY STRUCTURAL SECTION PRIOR TO CONSTRUCTION.
 - DOWNSPOUTS TO CUTFALL INTO THE PROPOSED BIORETENTION FACILITIES OR STORMDRAIN SYSTEM.
 - CONTRACTOR TO TIE IN DRAINAGE INLETS INTO EXISTING STORMDRAIN SYSTEM.
 - EXISTING STRUCTURES TO BE RAISED TO GRADE IN FIELD. CONTACT ENGINEER IF CONFLICT ARISES.
 - ADA COMPLIANT RAMP.

HATCHING LEGEND:

	0.21' AC OVER
	0.57' CL II AB
	4\"/>
	4\"/>

GRADING AND DRAINAGE PLAN



Revisions	Approvers	
No.	Date	Description

adobe associates, inc.
 civil engineering / landscape architecture
 1230 N. Duane Ave., Suite 200, CA 94015
 (415) 435-2500 F. (415) 435-3191
 Website: www.adobeassociates.com

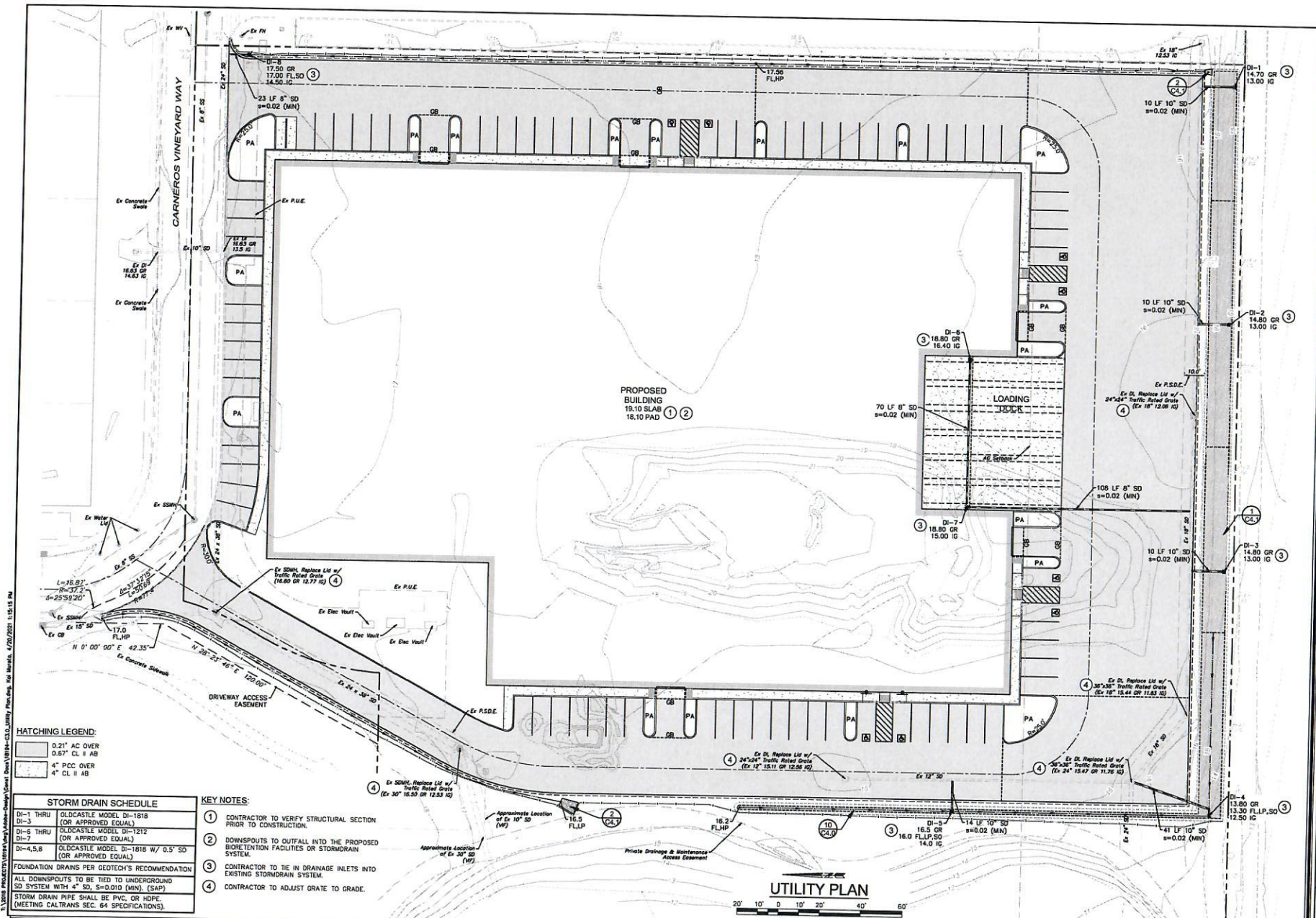


NORTHBAY WAREHOUSING, LLC.
GRADING AND DRAINAGE PLAN
 Lot 16 Carneros Business Park
 Sonoma, California
 APN 128-060-016

SCALE: AS SHOWN

Date:	April 20, 2021
Design by:	KM
Drawn by:	KM
Checked by:	ZELTUS

Sheet
C2.0
 2 of 5 Sheets
 Job 18194



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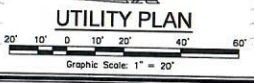
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[Hatching]	0.57' CL II AB
[Hatching]	4" PCC OVER
[Hatching]	4" CL II AB

STORM DRAIN SCHEDULE

DI-1 THRU DI-3	OLDCASTLE MODEL DI-1818 (OR APPROVED EQUAL)
DI-5 THRU DI-7	OLDCASTLE MODEL DI-1212 (OR APPROVED EQUAL)
DI-4,5,6	OLDCASTLE MODEL DI-1818 W/ 0.5' SD (OR APPROVED EQUAL)

FOUNDATION DRAINS PER GEOTECH'S RECOMMENDATION
 ALL DOWNSPOUTS TO BE TIED TO UNDERGROUND SD SYSTEM WITH 4" SD, S=0.010 (MIN). (SAP)
 STORM DRAIN PIPE SHALL BE PVC OR HDPE. (MEETING CALTRANS SEC. 64 SPECIFICATIONS)

- KEY NOTES:**
- CONTRACTOR TO VERIFY STRUCTURAL SECTION PRIOR TO CONSTRUCTION.
 - DOWNSPOUTS TO OUTFALL INTO THE PROPOSED BIORETENTION FACILITIES OR STORMDRAIN SYSTEM.
 - CONTRACTOR TO TIE IN DRAINAGE INLETS INTO EXISTING STORMDRAIN SYSTEM.
 - CONTRACTOR TO ADJUST GRATE TO GRADE.



Revisions

No.	Date	Description	Approved

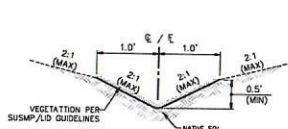


NORTHBAY WAREHOUSING, LLC.
UTILITY PLAN
 Lot 16 Carreros Business Park
 Sonoma, California
 APN 128-680-016

SCALE'S SHOWN

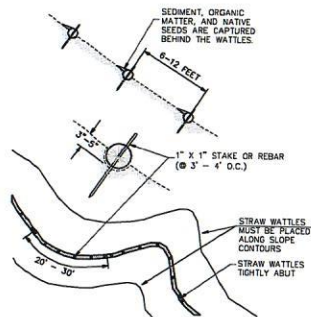
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 Design by: JKM
 Checked by: ZEL/LS

Sheet
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 3 of 5 Sheets
 Job 18194



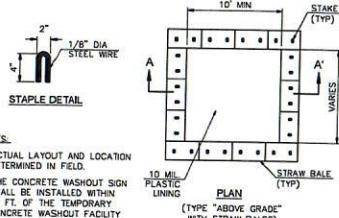
- NOTES:**
- SWALE DEPTH IS 0.75' MIN w/ 6" MIN OF VEGETATION MEETING SUSMP/LID STD.
 - SWALE SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MIN SLOPE 0.5%.
 - PLANTING/AMENDED SOILS MIGHT BE REQUIRED TO FACILITATE VEGETATION & INFILTRATION.
 - NATIVE EROSION CONTROL BLANKETS (ROLLMAX S150 OR EQUIV) WHERE VEGETATION IS NOT ESTABLISHED BEFORE WET SEASON.

1 GRASSY SWALE DETAIL
NTS



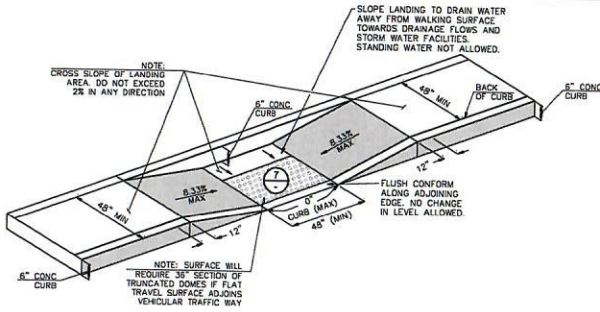
- NOTES:**
- STRAW WATTLES ARE TUBES MADE FROM STRAW BOUND w/ BIO-DEGRADABLE WRAPPED NETTING. THEY ARE APPROX 8" DIA AND 20 - 30 FT LONG.
 - STRAW WATTLES TRAP SEDIMENT AND REDUCE SHEET & RILL EROSION BY REDUCING SLOPE GRADIENT, INCREASING INFILTRATION RATES AND BY PRODUCING A FAVORABLE ENVIRONMENT FOR PLANT ESTABLISHMENT.
 - STRAW WATTLE INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE WATTLE IN A TRENCH, 3" - 5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND WATTLE.

5 STRAW WATTLE SLOPE PROTECTION
NTS

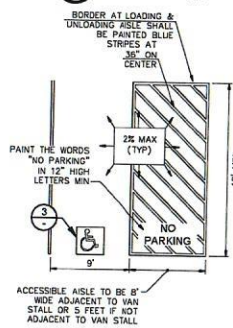


- NOTES:**
- ACTUAL LAYOUT AND LOCATION DETERMINED IN FIELD.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

8 CONCRETE WASHOUT
(NOT TO SCALE)

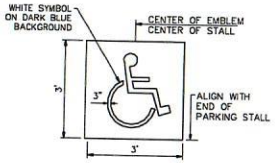


2 CURB-CUT RAMP - TYPE 3
NTS



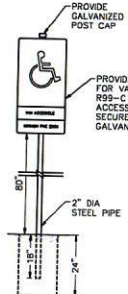
- ACCESSIBLE PARKING NOTES:**
- ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDER LINE AROUND THE PERIMETER. THE AREA WITHIN THE BLUE BORDER SHALL BE MARKED WITH HATCHED LINES AT 36 INCHES ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE. BLUE STRIPING SHALL BE 4" WIDE. TYPICAL HATCHING SHALL BE AT 45 DEGREE ANGLE TO PERIMETER LINES. BLUE COLOR SHALL BE PER CBC 11B-502.3.3 ON CONCRETE AND WHITE ON ASPHALT.
 - THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY.
 - REFER TO CBC (2013) SECTION 11B-502.3.3 AND SECTION 11B-502.6.4.2 FOR OTHER SPECIFIC REQUIREMENTS, DETAILS AND INSTALLATION.
 - 3" PRE-CAST CONCRETE WHEEL STOP. USE 12" LONG 3/8" DIA REBAR AND 2-PART EPOXY TO SECURE TO PAVEMENT. PAINT WHEEL STOPS BLUE WHEN INSTALLED ON CONCRETE AND WHITE WHEN INSTALLED ON ASPHALT.
 - PROPOSED STRIPING SHOWN IN DETAIL ARE SCREENED TO EMPHASIZE PARKING DIMENSIONING AND LAYOUT.

6 PLAN AT ACCESSIBLE PARKING
NTS



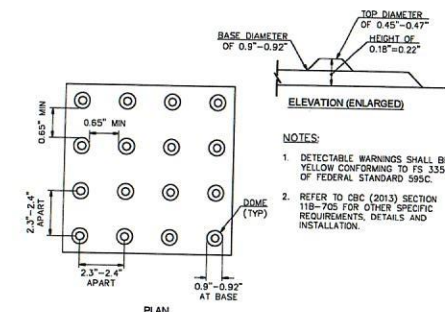
- ACCESSIBLE PARKING SYMBOL:**
- EMBLEM TO BE PAINTED ON SURFACE OF PARKING LOT PAVING
 - BACKGROUND COLOR IS BLUE
 - SEE SITE PLAN FOR LOCATION AND ORIENTATION
 - PAINT SHALL BE CALTRANS SPECIFICATION TRAFFIC RATED PAINT

3 PARKING SYMBOL FOR ACCESSIBLE PARKING
NTS



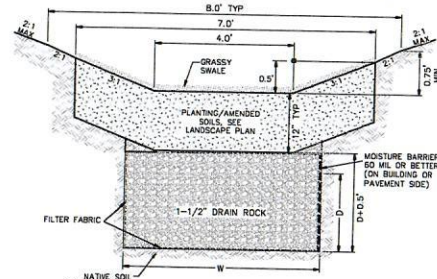
- NOTES:**
- EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT PAINTED IN WHITE ON A DARK BLUE BACKGROUND.
 - THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND WHEN IN THE PATH OF TRAVEL SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE FINISH GRADE OF THE PARKING SPACE.
 - ADD THE WORDS STATING: "VAN ACCESSIBLE" OR SIGN AS SHOWN AT STALLS DESIGNATED FOR VAN ACCESSIBLE PARKING.

4 SIGNAGE AT ACCESSIBLE PARKING STALLS
NTS



- NOTES:**
- DETECTABLE WARNINGS SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C.
 - REFER TO CBC (2013) SECTION 11B-705 FOR OTHER SPECIFIC REQUIREMENTS, DETAILS AND INSTALLATION.

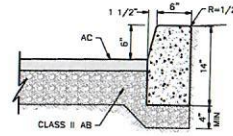
7 DETECTABLE WARNING / TRUNCATED DOMES DETAIL
NTS



- NOTES:**
- SWALE SHALL BE GRADED TO DRAIN TOWARD OUTLET AT A MIN SLOPE 0.5%.
 - VEGETATION TO MEET LID STANDARDS; PLANTINGS MAY INCLUDE TREES.
 - AMENDED SOILS SHALL HAVE MINIMUM INFILTRATION RATE 5"/HR.
 - DRAIN ROCK POROSITY = 0.40 MIN.
 - BIORETENTION SWALE IS MODIFIED FROM DETAIL FOUND IN CITY OF SANTA ROSA & SONOMA COUNTY LID TECHNICAL MANUAL; SEE MANUAL FOR ADDITIONAL INFO.
 - BIORETENTION DRAIN ROCK DIMENSIONS VARY (SEE PLAN)

10 BIORETENTION GRASSY SWALE
NTS

9 6" CONCRETE CURB
NTS



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civil engineering (land surveying) / landscape architect
1220 N. Dublin Ave., Suite 200, CA 94940
P: (970) 541-2300 F: (970) 541-3300
Website: www.adobeinc.com

Revisions: _____
Description: _____
Date: _____
No: _____
Approval: _____

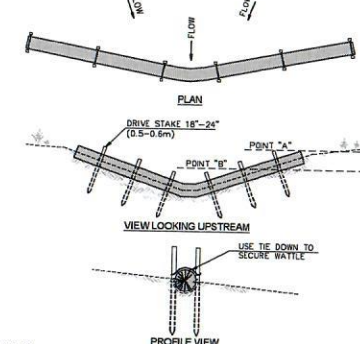
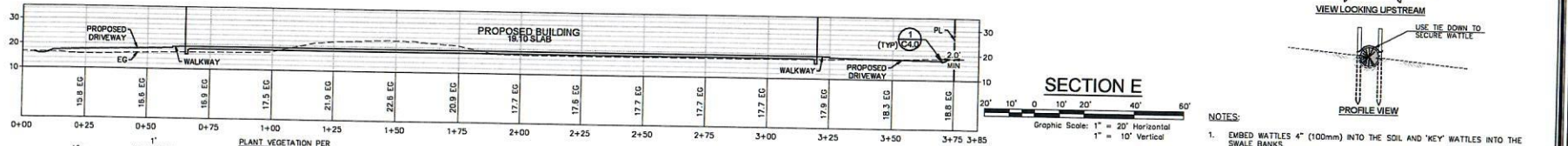
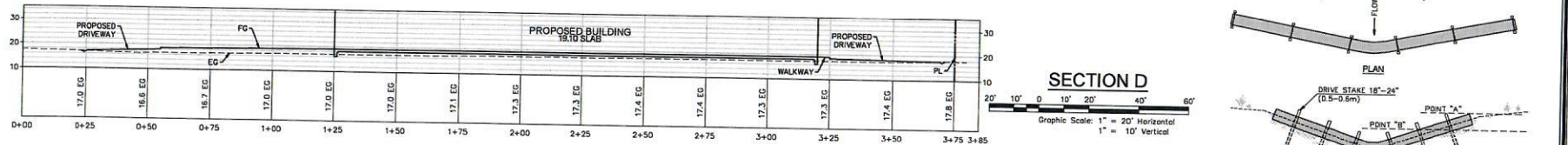
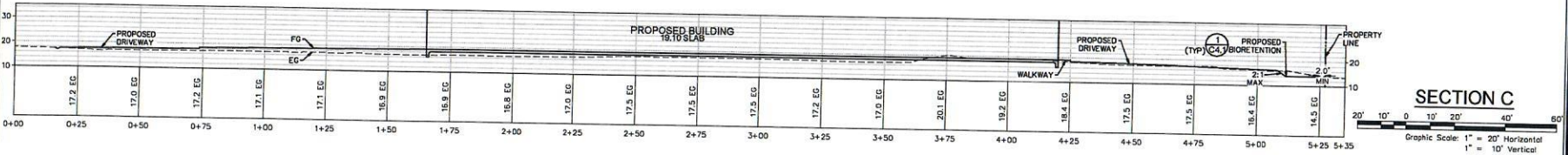
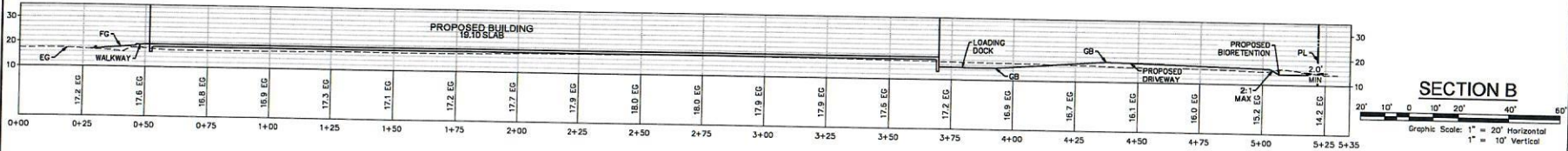
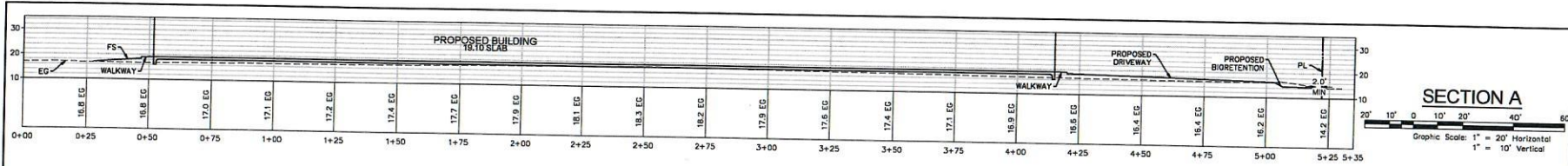
REGISTERED PROFESSIONAL ENGINEER
No. 10000
Exp. 12/31/2023
Civil Engineering
Landscape Architecture

Tramaly L. Scovron, P.E. 07880
My license expires 6/30/2021

NORTHBAY WAREHOUSING, LLC.
DETAILS
Lot 16 Cameros Business Park
Sonoma, California
APN 128-680-016

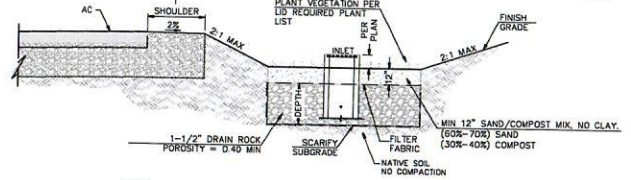
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Design by: KM
Drawn by: KM
Checked by: ZS, ILS

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4 of 5 Sheets
Job 18194

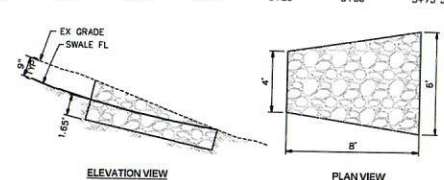


- NOTES:**
- EMBED WATTLES 4" (100mm) INTO THE SOIL AND 'KEY' WATTLES INTO THE SWALE BANKS.
 - POINT "A" MUST BE HIGHER THAN POINT "B" (SPILLWAY HEIGHT)
 - PLACE WATTLES PERPENDICULAR TO THE FLOW WITH ENDS TIGHTLY ABUTTING.
 - INSPECT AFTER EACH SIGNIFICANT STORM, MAINTAIN AND REPAIR PROMPTLY.

3 STRAW WATTLE CHECK DAM
NTS



1 BIORETENTION AND DEPRESSED AREA DETAIL
NTS



2 ROCK RIP-RAP SWALE OUTFALL DETAIL
NTS

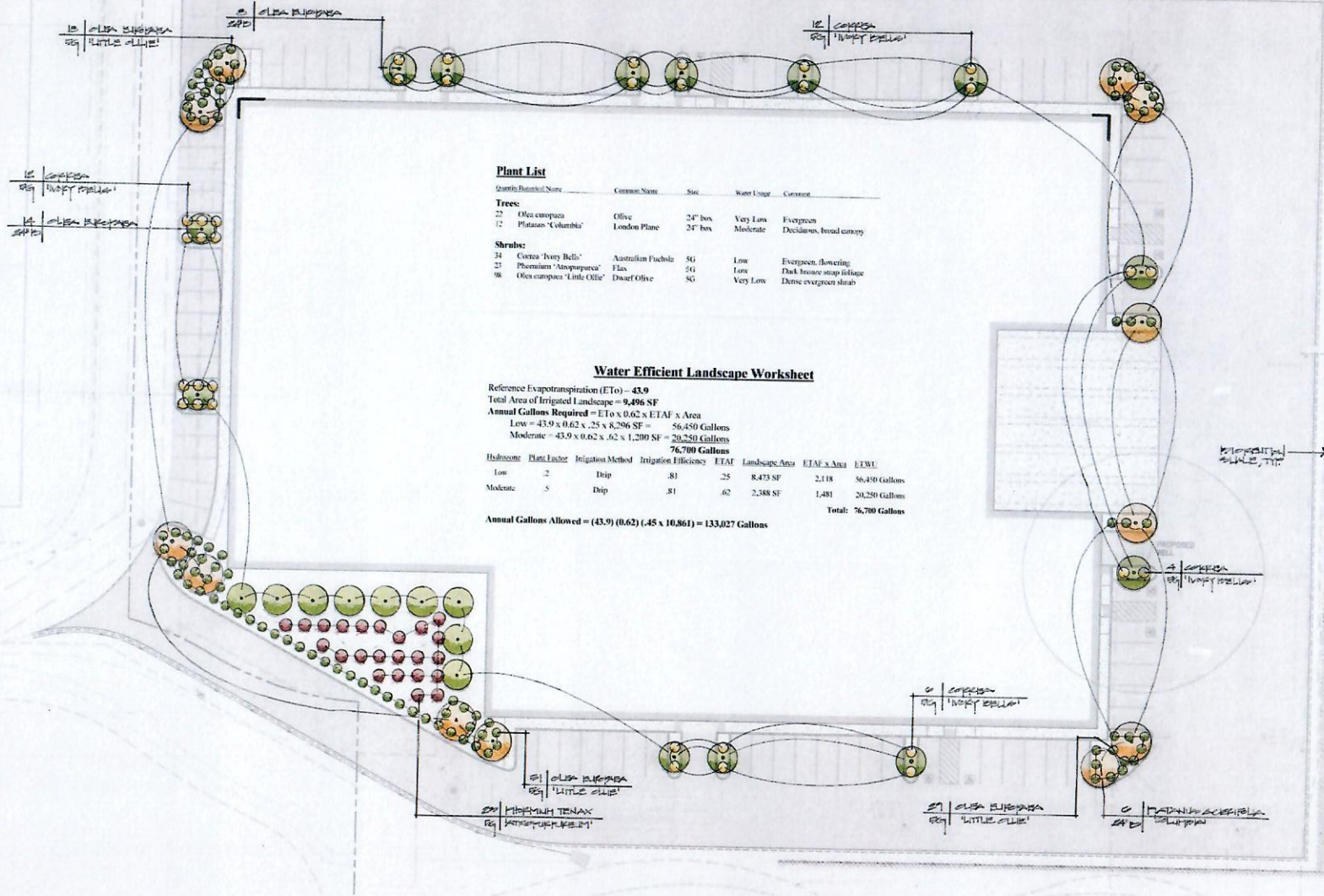
Revisions	Description	Approved

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My license expires 6/30/2021

NORTHBAY WAREHOUSING, LLC.
DETAILS & SITE SECTIONS
Lot 16 Carreras Business Park
Sonoma, California
APN 128-660-016

SCALE: AS SHOWN
Date: April 26, 2021
Design by: KM
Drawn by: KM
Checked by: ZB, TLS
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5 of 5 Sheets
Job 18194

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Plant List

Quantity	Botanical Name	Common Name	Size	Water Usage	Comments
Trees:					
22	<i>Olea europaea</i>	Olive	24" h/w	Very Low	Evergreen
12	<i>Platanus 'Columbia'</i>	London Plane	24" h/w	Moderate	Deciduous, broad canopy
Shrubs:					
24	<i>Croton 'Ivory Bell'</i>	Australian Fuchsia	5G	Low	Evergreen, flowering
23	<i>Phoradendron 'Mangroveana'</i>	Flax	5G	Low	Dark, dense strap foliage
98	<i>Olea europaea 'Little Olive'</i>	Dwarf Olive	5G	Very Low	Dense evergreen shrub

Water Efficient Landscape Worksheet

Reference Evapotranspiration (ET₀) = 43.9
 Total Area of Irrigated Landscape = 9,496 SF
 Annual Gallons Required = ET₀ x 0.62 x ETAF x Area
 Low = 43.9 x 0.62 x .25 x 8,296 SF = 56,450 Gallons
 Moderate = 43.9 x 0.62 x .62 x 1,200 SF = 20,250 Gallons
76,700 Gallons

Hydrozone	Plant Factor	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area	ETAF x Area	ETWU
Low	.25	Drip	.81	.25	8,473 SF	2,118	56,450 Gallons
Moderate	.62	Drip	.81	.62	2,388 SF	1,481	20,250 Gallons
Total:							76,700 Gallons

Annual Gallons Allowed = (43.9) (0.62) (.45 x 10,861) = 133,027 Gallons

LANDSCAPE PLAN

Graphic Scale: 1" = 20'

No.	Date	Description	Approved

Ron Wellender
 Landscape Architect
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 ronwellendar@gmail.com



NORTHWAY WAREHOUSING, LLC.

Lot 16 Corners Business Park
 Sonoma, California
 APN 128-680-016

SCALE: AS SHOWN
 Date: 26 April 2021
 Design by: RW
 Drawn by: RW
 Checked by: RW

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